

# CROSSROADS FARM

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Property Owner's Association

## **Residential Design Standards**

**2007**

*(Updates: 2007, 2009, 2013, 2016, 2017)*

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# CROSSROADS FARM ARCHITECTURAL DESIGN STANDARDS

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# ARTICLE I - POLICIES AND PROCESS

## 1.1 PHILOSOPHY OF DEVELOPMENT

- 1.1.1. Crossroads Farm is conceived as a unique residential community, which will offer a variety of housing options surrounding an expansion of the Lakeview Golf Course. Situated on the west side of State Route 276 (Cross Keys Road) and the southern side of State Route 33 (Spotswood Trail) at Peales Crossroads, the site is comprised of beautifully rolling pasture and woodland. Combined with a new nine hole expansion of the existing adjoining golf club, the development lends itself to a diverse arrangement of residential housing types, including exclusive single-family golf course lots with spectacular views planned for the higher elevations. The lower slopes are conceptually designated for a variety of exclusive housing types including Cottages (Single-Family on small lot) and Villas (Multi-Family)

A business/commercial development near the intersection of Rt. 33 and Rt. 276 and a recreational area reserved for the Property Owners' Association, also along Rt. 276 are the only planned non-residential uses at the present time, other than the Golf Course and open space and are subject to change.

An architectural review process has been established to ensure that dwellings (single family, including Cottages; and multi family, including Villas) are architecturally and aesthetically compatible with the standards of quality for the community. All buildings will be limited to two stories in height. With the exception of a planned 700 foot extension of Confederacy Drive from Battlefield Estates, all roads and utilities within the development are intended to be privately owned and maintained. The planned extension to Confederacy Drive is only to be used for emergency vehicle access. A Property Owners Association has been established in conjunction with the subdivision and sale of lots for road maintenance as well as the maintenance and protection of common open space.

## 1.2 AUTHORITY TO ESTABLISH STANDARDS AND CONDUCT DESIGN REVIEW

- 1.2.1. The General Covenants establish the authority of the Declarant (Developer) and Association Board of Directors to create design standards and maintain a Crossroads Farm Architectural Committee. These Standards have been written not only to establish rules that guide design and construction, but also to define and establish the basis and reasoning for those rules, and to assist the builder and homeowner in understanding the rules by providing illustrations and explanations of requirements where helpful.
- 1.2.2. The Crossroads Farm Architectural Committee (CFAC) has been established to implement these Standards. Although the Standards contain a listing of specific requirements to be followed, the very nature of design is an individualistic process. Consequently the responsibility of the CFAC is to interpret the goals of the community and these Standards as they relate to each design submittal.

## 1.3 THE CROSSROADS FARM DESIGN GOALS

- 1.3.1. The rules and criteria developed in this book are all based on the following general design goals of Crossroads Farm. The Crossroads Farm Architectural Committee (CFAC) will also use these

goals as the basis for review of any improvement that is not otherwise addressed by more specific criteria in this book.

- a) GOAL #1 - PRESERVE ENVIRONMENTAL QUALITY: Approval for clearing and alteration of existing lots shall be made only for approved structures, site improvements, landscaping, and access, and may not be performed in a manner that will result in erosion of soils, excessive water runoff, discharge of wastes into the soils or waters, stagnation or standing water, or substantial removal of indigenous vegetation.
- b) GOAL #2 - CREATE A BALANCE OF COMMUNITY AND PRIVACY: Each structure or site improvement shall be sited to create a proper setting within each lot, consistent with the density and setbacks of the community, so as not to unduly restrict the view, light, or breeze to or from neighboring properties, and so as not to compromise the privacy of any other lot below the general level enjoyed by other members of the community.
- c) GOAL #3 - ENCOURAGE CONTEXTUAL DESIGN: Every structure shall be of a size and use that is consistent with the standards applicable to that section of the community. All structures and site improvements shall be designed in styles, shapes, sizes, massing, and colors to be of good proportions, well balanced, and appropriate to this community.
- d) GOAL #4 - MAINTAIN HIGH APPEARANCE STANDARDS: All improvements to any lot in a neighborhood shall meet minimum standards of design and material quality consistent with the level of quality established for that neighborhood. The exterior of each structure shall consist of a vocabulary of materials, products, and assemblies that are harmonious with each other, consistent and supportive of the architectural style, and appropriate to the general appearance characteristics of the community.

- 1.3.2 INTERPRETATION BY CFAC: The CFAC shall judge compliance with these policies in questions of appearance, aesthetics, or infringement by design upon the rights of other residents. The CFAC reserves the right to require modifications to proposed designs including deletion, addition, or relocation of design elements in order to achieve compliance with these policies.
- 1.3.3 AMENDMENTS AND DELETIONS: The Crossroads Farm Architectural Committee reserves the right to modify, add to, or delete from any specific section of the Crossroads Farm Standards from time to time. All changes must be ratified by the Board of Directors prior to incorporation into these Standards.
- 1.3.4 VARIANCES: The CFAC may, at its discretion, on a case-by-case basis, approve variances from these Design Standards. Any such approval must be in writing following such submittals and review as CFAC requires.

## **1.4 COMPLIANCE REQUIREMENTS**

- 1.4.1 PROPERTY OWNER IS RESPONSIBLE: Each property owner within Crossroads Farm is responsible for his or her property's compliance with these Standards. Any proposed improvements to be made to that property may affect that compliance, and the Covenants require that the Owner obtain approvals from the Association prior to making the improvements, in order to maintain compliance. This is true regardless of whether or not the work is being performed by the Owner directly or by a Contractor.

- 1.4.2 PROPERTY OWNER TO COMPLY WITH OTHER LAWS: In addition to approvals from the Association, other approvals and permits may be required by the County, such as a building permit. It is not the responsibility of the Association, the CFAC, or the Developer, to obtain any other permits for you, nor to provide any guarantees or waive any legal requirements for compliance with any state or county law, with the Declaration or with these Standards.
- 1.4.3 Class A Contractor's License Required: All builders working in Crossroads Farm, either as a property owner or contractor, must have a Virginia Class A Contractor's License.
- 1.4.4 Summary of Review Requirements: The Association's approval process for various types of projects and improvements is summarized in Illustration 1.4.4 in Appendix A.

## 1.5 PREPARATION OF SUBMITTALS

- 1.5.1 SUBMITTALS TO BE COMPLETE AND ACCURATE: Submittals prepared for consideration by the CFAC need to be complete and accurate. Submittals for design review must include drawings prepared as described below. The CFAC may require that color chips accompany color applications. All requested information on the application forms needs to be furnished. The CFAC will reject applications that are incomplete or inaccurate. When submitting for a preliminary review, a rendering may be provided, prior to final plan approval.
- 1.5.2 SUMMARY OF SUBMITTAL REQUIREMENTS: Proper submittals include drawings that are neat, accurate, drawn to scale, and with sufficient detail to adequately explain the entire design. Insufficient explanation of a design including all visible details, is cause for rejection of an application. The CFAC, at its discretion, may accept plans that are marked-up in red with late changes to design features. However, the CFAC may require that the marked-up sheets be corrected and revised, and re-submitted. As a minimum requirement, two (2) copies of each of the following drawings shall be submitted:

NEW HOMES: Site Plan - Show proposed structure with setbacks to each property line, the proposed driveway and other known improvements, proposed grading showing drainage and proposed drainage features on the lot, finished floor elevations, topography, and retaining walls (if any).

Foundation Plan

Floor Plans

All Exterior Elevations (Show actual ground level. Indicate finish materials.)

Exterior Color Selection (submit with New Home application)

ADDITIONS: Site Plan - showing addition location, distances to property lines and tree(s) if any, to be removed. Show any changes in landscaping.

Floor plan(s) of Addition

**All Exterior Elevations** of Addition including existing house. (Show finish materials).

## ACCESSORY STRUCTURES

STRUCTURES: Site Plan - showing location of new structure and existing house, with distances between each, distances to property lines, and tree(s) if any to be removed.  
Floor Plan(s)  
All Exterior Elevations (Show finish materials).

## OTHER SITE IMPROVEMENTS

IMPROVEMENTS: Site Plan - showing location of improvement, existing structures, distances to property lines, tree(s) if any to be removed.  
Plan of Improvement (ex: deck, patio, swimming pool, etc.)

## FENCES:

Site Plan - showing location, extent of fence, and tree(s) if any to be removed.  
Drawing of fence with heights, materials and sizes identified.

## HOUSE COLORS:

For changes to existing house colors, submit application form with manufacturer's names and color names. Submit color chips with application.

- 1.5.3 **MINIMUM SCALE OF DRAWINGS:** Site plans shall be drawn to scale (min. 1" = 30'-0"). Drawings of structures, houses, or other improvements shall be drawn to scale (min. 1/8" = 1'-0").
- 1.5.4 **SUBMITTALS KEPT FOR RECORD:** Submittals are kept on file for a record of approved designs. Therefore submitted drawings should be copies of originals, not the originals themselves.

## **1.6 REVIEW MEETINGS**

- 1.6.1 The CFAC reviews plans for new houses, modifications, additions and accessory buildings in regular monthly meetings. Meetings will be once every other month. Contact the Crossroads Farm Property Owners' Association at 2340 south Main Street, Harrisonburg, Virginia, for dates and times. At that time the CFAC will review all requests submitted on the appropriate application forms together with their supporting drawings and information. Application forms are available from the Association Office. To be included on the agenda, applications must be submitted no later than 12:00 noon of the last business day before the meeting. All color reviews, site stake-outs and final compliance inspections will be performed after the meeting.

## **1.7 REVIEW BASIS**

- 1.7.1 The CFAC bases its review of each application on its interpretation of the Covenants and these Standards and on the graphic and written information presented. Due to time constraints, CFAC review of all applications occurs without personal presentations by the applicants. Therefore it is incumbent upon the applicant to provide sufficient and accurate information to the CFAC for proper consideration. If, in the applicant's opinion, extenuating circumstances exist which would justify a variance from stated guidelines, this information should be presented with the application.

## **1.8 APPROVALS**

- 1.8.1 An application is approved when notice is given to the applicant in writing by the CFAC or its designated representative. **No verbal approvals are given.** The CFAC may issue any of the following four decisions:

**"Approved":** means approved as submitted.

**"Approved with Limiting Conditions":** means approved only if stated conditions in the approval letter are met.

**"Not Approved":** means not approved for construction. Reasons for disapproval will be given in writing. The CFAC may also provide suggestions for revisions but does not provide design solutions. A disapproval action requires a re-submittal by the applicant for review before any approvals can be given.

**"Preliminary Review":** means a review of early design drawings to give the applicant direction as to what the concerns of the CFAC are likely to be regarding that design. Comments are given to the Applicant but no approval to proceed is granted without CFAC review of a complete submittal in accordance with the above requirements.

## **1.9 APPEALS**

- 1.9.1 **APPEALS TO THE CFAC:** Should an application be denied on the basis of the Covenants or Standards, and the applicant feels that the submittal was misinterpreted or that there are extenuating circumstances which should qualify them for an exception from these requirements, they may contact a specified member of the CFAC to discuss it. If he agrees that a second review is in order, the application will be placed back on the agenda for the next meeting.
- 1.9.2 **APPEALS OF A CFAC ACTION TO THE BOARD:** If an applicant feels that he or she has been unfairly denied approval by the CFAC, an appeal may be filed with the Board of Directors by contacting the Association Office. The appeal must be brought to the Board of Directors within 90 days of the date of the denial. Failure to appeal within that time frame shall constitute acceptance of the validity of the CFAC decision.

## **1.10 RE-USE OF PREVIOUSLY APPROVED PLANS**

- 1.10.1 The CFAC will permit the re-use of previously approved designs within neighborhoods in Crossroads Farm, but may also limit the use of such plans to avoid significant repetition. Approval of a house for a given lot does not guarantee approval on another lot. The CFAC may issue restrictions on the number of re-uses of a house design in a given neighborhood or in Crossroads Farm as a whole. The CFAC reserves the right, at its option, to require significant modifications to a facade, or to reject the house design entirely, in order to control the amount of repetition.

## **1.11 CONSTRUCTION CHANGES**

1.11.1 All construction must be completed in accordance with the application and the plans as approved. Exterior changes to the subject property must receive prior written approval by the CFAC. Applicants requesting design change approvals should consult with the CFAC to determine if additional plans and specifications are required.

## **ARTICLE II - INDIVIDUAL LOT DEVELOPMENT STANDARDS**

### **2.1 CLEARING AND LOT PREPARATION**

2.1.1 **COUNTY ENVIRONMENTAL REQUIREMENTS:** Applicants will be required by the County to meet certain environmental planning criteria.

#### **2.1.2 SITE CLEARING, CUTTING OF TREES**

- a) **ABSOLUTELY NO CLEARING OF WOODED LOTS WITHOUT APPROVAL:** No clearing or work of any kind shall commence on any lot until plans and specifications as defined in these guidelines have been submitted and approved by the CFAC. For new homes an on-site stakeout review must be completed and written approval received for homes on wooded lots.
- b) **INITIAL CLEARING - GENERAL:** The entire lot shall be cleared of poisonous vegetation, debris and underbrush. Tree stumps shall be removed or cut at grade in a manner to conserve remaining trees. Cleared material may not be dumped on other sites or common areas within the Community. The CFAC may require the removal of additional vegetation which is considered obnoxious and unsightly when visible from the street.
- c) **INITIAL CLEARING OF TREES:** The clearing of mature trees (over 6" in dia.) shall be as approved by the CFAC representative on-site (during site stakeout review). The CFAC encourages the saving of mature hardwood trees and ornamental trees where possible in front yards. Saving trees in groups is also encouraged. Trees shall be cleared to permit the proper grading and planting of a finished yard as specified elsewhere in these Standards. Yards may not be left in a natural state, except for designated buffer areas.
- d) **REAR YARD BUFFERS:** In general, the CFAC will encourage saving most existing trees in the rear 25' of yards in Crossroads Farm as a buffer between yards or between Crossroads Farm and any future off-site development.
- e) **REQUIRED TREE REPLACEMENT:** On lots where no significant trees can be saved, or where clearing is subsequently performed beyond what was approved, the CFAC reserves the right to require the planting of one or more nursery grown trees in accordance with the criteria in the Landscaping section of these Standards

- f) TREE REMOVAL AFTER INITIAL CLEARING: Tree removal shall be in accordance with the requirements of this Section. No tree greater than 6" in dia. may be removed without first obtaining approval from the CFAC.

#### 2.1.3 GRADING AND EROSION CONTROL

- a) PREVENT EROSION DURING CONSTRUCTION: Comply with applicable government regulations and code requirements in preventing silt runoff. Erosion control devices shall be installed prior to construction. Any mud or silt runoff onto adjoining properties or streets shall be immediately stopped and removed.
- b) GRADING FOR DRAINAGE: Where necessary, grade site to direct water away from residence and prevent ponding or standing water, or poorly drained areas. Do not direct drainage across adjacent properties.
- c) TERRACING AND RETAINING WALLS: Where necessary to stabilize slopes, applicant shall provide retaining walls, stepped terraces or other forms of permanent erosion control as may be required by the CFAC. Any structures constructed for erosion control, such as retaining walls, must be approved by the CFAC.

#### 2.1.4 CONSTRUCTION SITE MANAGEMENT

- a) TRASH CONTAINMENT: A trash containment area shall be provided on each site during construction. Trash shall not be dumped on other sites or on common areas within the Community.
- b) HAZARDOUS AND TOXIC WASTE: No petroleum based products or other potentially hazardous or toxic substances may be disposed of on any lot, any storm drain, any drainage ditch, stream or lake within the subdivision.
- c) PORTABLE TOILETS: During construction of new homes, every builder shall maintain portable construction site toilets on as many of their construction sites as necessary to serve all of their sites within 250' of the toilet.
- d) RESPONSIBILITY: The General Contractor is responsible for enforcing the following rules on all construction workers and subcontractors on the job site:
  1. The possession and/or consumption of alcohol is prohibited by contractors or workers in Crossroads Farm.
  2. Workers are prohibited from playing loud music.
- e) CONSTRUCTIONS HOURS: Construction may only take place during the hours of 7 a.m. to 6 p.m. Monday through Saturday. No work will be permitted on Sunday or the following holidays: Christmas Day, Labor Day, Independence Day, New Year's Day. These limits may be varied by the CFAC in writing, at its discretion on a case-by-case basis.  
**If a contractor/builder is found working on any of the off limit times, the POA has the right to give a two week Stop Work Order and a possible fine from the POA.**

- f) TRASH BURNING: No burning of construction trash, debris or cleared materials/trees will be permitted on site.

## **2.2 PRIVATE ENTRANCE REQUIREMENTS AND PERMIT APPLICATION, SILT FENCE REQUIREMENT**

- 2.2.1 GENERAL: See Addendum #1 at the end of the Standards.

## **2.3 MINIMUM REQUIRED IMPROVEMENTS TO LOTS**

- 2.3.1 MINIMUM REQUIRED IMPROVEMENTS: The following minimum improvements will be required on each developed lot in Crossroads Farm:

- a) HOUSE: Any development or improvement of a lot in Crossroads Farm must include as part of the initial approval, a single family house which meets the minimum standards in this document, including any neighborhood addenda, except those neighborhoods that are designated for Villas.
- b) PAVED DRIVEWAY AND FRONT WALK: All lots developed in Crossroads Farm will include a paved driveway and a walk to the front door, in accordance with pavement standards specified in this document.
- c) PERMANENT POST LAMP: Although improved lots in Crossroads Farm are not required to have a front yard post lamp, the CFAC encourages the use of post lamps in the neighborhoods.
- d) EQUIPMENT AND UTILITIES SCREENING: Exterior HVAC equipment, power transformers, and gas tanks shall be screened in accordance with standards in this document.
- e) FINISHED AND LANDSCAPED YARD: Every improved lot shall be landscaped in accordance with landscape standards in this document. Required landscaping may include trees or shrubs for screening certain views, and sod in front yards. Consult the general standards.

- 2.3.2 OPTIONAL ADDITIONAL IMPROVEMENTS: Many other additional improvements may be made to properties in Crossroads Farm *after the minimum required improvements have been approved and installed*, and in accordance with appropriate standards in this document. If a particular desired improvement is not specifically addressed in this book, contact the Association Office to determine what submittals are required.

## **2.4 LOCATING STRUCTURES ON A LOT**

- 2.4.1 PROXIMITY OF SIMILAR HOUSES: The CFAC reserves the right to reject the placement of houses with the same or substantially similar elevations side-by-side or directly across the street from each other. The CFAC shall make final judgment as to the degree of acceptable similarities permitted in each neighborhood.

- 2.4.2 HOUSE SITING REQUIREMENTS

- a) FRONT SETBACK: Houses in Crossroads Farm shall be located wholly within the buildable area, as indicated on the site plan. An uncovered stoop and/or porch may extend into the front setback to the extent permitted by county zoning.
- b) SIDE AND REAR SETBACKS: Houses shall be built wholly within the setbacks defined on the site plan. Driveways and driveway pads shall be set no closer than 5' to any side property line, unless otherwise approved by the CFAC in its discretion. All golf course lots have a minimum setback of 25' for any portion of the lot abutting the golf course.
- c) ORIENTATION TO THE ROAD: In general, houses shall face the road. Houses in cul-de-sacs shall generally face the center of the cul-de-sac. Where site conditions make this unnecessarily difficult (in the opinion of the CFAC) the CFAC may approve alternative site orientation.
- d) RELATIONSHIP TO OTHER HOUSES: Houses shall not face the side or rear of neighboring houses. Where designs create conditions that would create direct views from house fronts onto living areas of adjoining property, the CFAC reserves the right to require screening of this view or revisions to the design or siting.
- e) RELATIONSHIP TO TOPOGRAPHY: Houses should be located relative to the lot grades such that the first floor height at the front door and garage does not exceed 4' above grade. Where higher floor elevations are required, the CFAC may require additional architectural treatments or re-grading to improve the relationship of the house to the land.

#### 2.4.3 ADDITIONS TO HOUSES - SITING REQUIREMENTS (See also paragraph 3.4 for architectural standards for house additions).

- a) SETBACKS: No addition shall extend beyond the setback limits established for the house.
- b) EFFECTS OF LOCATION ON PRIVACY OF ADJACENT LOTS: In general the siting of additions shall not create a breach of privacy between neighboring houses. Where this is unavoidable, the CFAC may require screening of the view by the Applicant.
- c) EFFECTS OF DESIGN ON PRIVACY OF ADJACENT LOTS: New windows or access created by the addition or modification shall not create a breach of privacy between neighboring houses. The CFAC reserves the right to reject certain openings or require screening by the applicant in situations where, in the opinion of the CFAC, it is required.

#### 2.4.4 ACCESSORY BUILDINGS (SHEDS) – Prohibited after August 29, 2007 No Outbuildings Allowed

#### 2.4.5 SWIMMING POOLS - SITING REQUIREMENTS

- a) LOCATE DIRECTLY BEHIND HOUSE: In-ground swimming pools shall be located wholly behind the house so as not to be visible from the street, and no closer to any property line than 20'. On lots that abut the golf course, the pool may be no closer than 25' from the property line. Above-ground swimming pools are not permitted.

- b) PRESERVE PRIVACY: The CFAC may require additional screening of swimming pools to ensure the privacy of the pools owner and of neighbors.
- c) FENCING REQUIRED: Swimming pools shall be fenced in accordance with state building codes, and in conformance with Article II, section 2.9 - "Fences".

#### 2.4.6 OTHER STRUCTURES - SITING REQUIREMENTS

- a) SETBACKS: The following minimum setback requirements shall apply to any other structures regulated by these Standards:

Front Yard: No farther forward than the rear plane of the house.

Side Yard: 10' from side property line

Cor. Side Yd: 25' from side street property line

Rear Yard: 10' from rear property line, except for golf course lots which is 25'

Golf Course: 25' from the Golf Course boundary line

- b) IMPACT ON NEIGHBORING LOTS: In general the siting of other structures shall not create a breech of privacy between neighboring houses, nor shall it create a visual nuisance to neighboring houses or yards. Where this is unavoidable, the CFAC may require screening of the view or the structure by the Applicant.

## 2.5 LANDSCAPING

### 2.5.1 GENERAL REQUIREMENTS

- a) LANDSCAPING REQUIRED: Although a formal landscape plan is not required for review, adequate foundation landscaping is required, especially along the foundation and those elevations visible from the street.
- b) REMOVE ALL TRASH AND DEBRIS: No new landscaping shall commence until all trash, stones, gravel, branches, weeds, and construction debris have been removed from the lot.
- c) PRESERVE OR ADD TOPSOIL: A minimum of 6" of topsoil should be placed prior to any landscape planting. Existing topsoil may be re-used.

### 2.5.2 YARDS

- a) FRONT YARDS SODDED: SEE UPDATES below

1. Cottages and Villas: All yards fronting on a street are required to have sod installed from the curb to the house face and to both side property lines prior to final inspection, weather permitting or as otherwise approved by the CFAC.

- Initial builder shall maintain sod in accordance with nursery instructions, until closing.
2. Single-family neighborhoods: All yards fronting on a street are required to have sod or hydro seed, prior to final inspection, weather permitting or as otherwise approved by the CFAC. *(see update)*
  - b) SIDE AND REAR YARDS: All cleared yard areas not sodded in accordance with (a) above, and not otherwise landscaped in accordance with an approved landscape plan, shall be seeded with a turf grass seed compatible with the sod grass used.
  - c) MINIMUM LANDSCAPE PACKAGE: As detailed. The use of any form of artificial vegetation is prohibited.
  - d) CHANGES IN TOPOGRAPHY, WATER FEATURES: Any earthwork creating changes in topography, site drainage, or creation of ponds, pools, or other water features must be approved by the CFAC. Exterior fountains and ponds are not permitted in front yards unless approved by the CFAC.

## 2.5

### **LANDSCAPING *Update 2013***

#### 2.5.1

**GENERAL REQUIREMENTS:** The following requirements are for new homes. A landscape plan is not required for review providing that the requirements of this section are met. Requests for variances from the requirements of this section must be submitted with a landscape plan showing the alternate requested landscaping. Existing homes are required to maintain the minimum quantities and types of landscaping required by this section, unless otherwise approved by the CFAC. The use of any form of artificial vegetation is prohibited.

#### 2.5.2

**INITIAL PLAN INSTALLATION:** The minimum landscaping as required in this section shall be installed within the one-year construction period for the house. All minimum required landscaping shall be installed, complete, and maintained in a healthy condition when the final compliance inspection is conducted for new homes. Where the requirements of this section have not been met, the property owner must provide additional planting or correct plant sizes, etc., and request a re-inspection, prior to being issued a Certificate of Compliance. Re-inspections will require payment of an additional review fee prior to being conducted.

#### 2.5.3

**SITE PREPARATION:** No new landscaping shall commence until all trash, stones, gravel, branches, weeds, and construction debris have been removed from the lot. A minimum of 6" of topsoil should be placed prior to any landscape planting. Existing topsoil may be re-used.

#### 2.5.4

**LAWN AREAS:**

a) FRONT YARDS SODDED:

1. Cottages and Villas: All yards fronting on a street are required to have sod installed from the curb to the house face and to both side property lines prior to final inspection, weather permitting or as otherwise approved by the CFAC. Initial builder shall maintain sod in accordance with nursery instructions, until closing.

2. Single-family neighborhoods : All yards fronting on a street are required to have sod or hydro seed, prior to final inspection, weather permitting or as otherwise approved by the CFAC.

b) SIDE AND REAR YARDS: All cleared yard areas not sodded in accordance with

(a) above, and not otherwise landscaped in accordance with an approved landscape plan, shall be seeded with a turf grass seed compatible with the sod grass used.

#### 2.5.5

**SHRUBS AND PLANTING BEDS:** Areas that are not landscaped as lawn or as natural areas shall be landscaped as planting beds. The distinction between lawn and planting beds shall be clearly and neatly defined. When edging is used it shall be by trenching, which is preferred, or edging material that must be approved by the ARB. Planting beds may include spreading groundcover, shrubs and trees. Open soil between plants shall be maintained with pine needle, pine bark, or shredded hardwood mulch.

a) Foundation planting is required along the entire front facade of the house and shall return a minimum of 4' down the sides of the house, except that on corner lots, beds shall extend the full side facing a street.

b) Foundation Planting Beds shall be a minimum of 4' wide from the house foundation.

c) Planting Beds shall contain a minimum of 50% evergreen material and should include two or more of the following types of materials:

plant type Minimum sizes when planted Minimum quantity in Front and side yards  
groundcover (ex: periwinkle, liriope, pachysandra) 2 1/4" pots 50  
small shrubs (ex: euonymous, helleri holly, azalea) 18" - 24" 20  
larger shrubs (ex: boxwood, pyracantha, arborvitae) 24" - 30" 10  
accent shrubs 48" 2

#### 2.5.6

**YARD TREES:** Provide one (1) new nursery grown tree per 2000 s.f. of open yard including pavement areas in front yards and street-facing side yards of corner lots. Trees may be planted individually throughout the yard areas or in groupings in clustered areas. New trees shall be provided in the following minimum sizes:

Tree type Minimum sizes when planted Evergreen and ornamental trees (e.g. Nellie Stevens holly, redbud, Japanese red maple) 8' - 10'  
Hardwood/canopy trees (oak, maple, gum) 2 1/2" caliper - measured 2' above ground

## 2.5.7

**CHANGES IN TOPOGRAPHY, WATER FEATURES:** Any earthwork creating changes in topography, site drainage, or creation of ponds, pools, or other water features must be approved by the CFAC. Exterior fountains and ponds are not permitted in front yards unless approved by the CFAC.

## 2.6 LANDSCAPE ACCESSORIES

2.6.1 **MAILBOXES** (Required): Mailboxes must be installed utilizing either the specified Crossroads Farm post and the approved size box or be cluster boxes in the Villas and Cottages neighborhoods. Contact the Association Office to order the mailbox.

2.6.2 **CLOTHESLINES:** Exterior clotheslines are not permitted.

### 2.6.3 SIGNS

- a) **PERMITTED SIGNS:** No signs other than one temporary real estate sign, and/or one builder's sign, each measuring no more than 1 square feet in total area, are permitted in any yard. Pre-approval is not required for these signs.
- b) **REAL ESTATE SIGNS:** Real estate signs shall be placed in the front center of the yard only. Rear yard signs are not permitted. A maximum of one lead-in sign per real estate company may be placed at each neighborhood entrance where the company has a listing, and only from 6:00 PM Friday to 7:00 AM Monday. Signs left after this time will be removed by the Association. However, any sign installed by the Declarant is permitted if in connection with the project.

### 2.6.4 DECORATIVE ORNAMENTS AND OTHER LANDSCAPE ACCESSORIES

- a) **DEFINITION:** Landscape accessories including gazebos, firewood sheds, hot houses, arbors, trellises, benches, fountains, permanent barbecues, decorative objects, etc. must be approved by the CFAC as to design and location.
- b) **PLACEMENT:** In general, landscape accessories are not permitted farther forward nor closer to side property lines than the rear corners of the house. The CFAC may consider accessories that are part of an overall landscape plan, in the front yard areas on a case-by-case basis.

## 2.7 PAVEMENTS

2.7.1 **DRIVEWAYS:** Every improved lot in Crossroads Farm shall have a single paved driveway that conforms to the following criteria:

### a) PAVEMENT:

1. **Cottages and Villas:** For Cottages neighborhoods, the minimum permitted pavement shall be broom finish concrete. Provide tooled joints enclosing a

- maximum area of 144 sq.ft. All edges shall be formed with standard wood or metal forms. Gravel driveways are not permitted. For Villas the minimum pavement permitted shall be the same as for single-family homes.
2. Single family homes: The minimum pavement permitted for single-family homes shall be asphalt. When standard broom finish concrete is used, provide tooled joints enclosing a maximum area of 144 sq.ft. All edges shall be formed with standard wood or metal forms. Upgraded pavements or driveway aprons may include brick pavers, exposed-aggregate concrete, interlocking concrete pavers or patterned concrete. Gravel driveways are not permitted.
  - b) SETBACKS: For single family homes, driveways shall be held a minimum of 5' off of side property lines. For Cottages and Villas, it must be held a minimum of 3' off the side property line. See required landscape screening defined below. Driveways to rear entry garages shall also be held a minimum of 3' off the side of the house.
  - c) DRIVEWAY WIDTHS: Driveways at the Cottages and Villas may be 20' wide at the garage and narrow to 16' at the street. For single family homes, driveways shall not exceed 16' in width between the apron and the garage pad. Aprons may flair to 18' wide. At side entry garages, the width of the pad, extending out from the door, shall be a minimum of 20' (26' recommended). At rear entry garages, the pad width extending out from the door shall be a minimum of 25' (30' recommended).
  - d) SPECIAL DRIVEWAYS: Circular driveways, parking areas in front of the house, and other special conditions are generally discouraged where they substantially reduce the amount of front yard. The CFAC may approve certain applications where they feel that the front yard appearance will not be adversely affected or for other extenuating circumstances which in the sole opinion of the CFAC warrant such an approval as an exception.

## 2.7.2 FRONT WALKS

- a) LOCATION: Front walks may extend from the front steps to either the driveway or the street.
- b) DESIGN: All front walks shall be paved at a minimum with broom finish concrete. Upgraded walks will generally be permitted, of brick, exposed aggregate concrete, concrete pavers, embossed concrete, or cut stone (mortar-set). Walks shall be between 3' and 4' in width, widening as required to the front steps width.

## 2.7.3 OTHER PAVEMENTS

- a) OTHER WALKS: Secondary walkways located behind the front plane of the house or in the rear yard may include loose-laid stone in gravel or a mulch bed in addition to approved hard surface materials. Continuous landscape edging will be required along soft surface walks.

- b) **PATIOS:** Patios are permitted of hard-surfaced materials as noted above, either set in concrete or sand-set. The CFAC will judge the design and location of patios on a case-by-case basis.

## **2.8 MECHANICAL, ELECTRICAL, PROPANE TANKS AND COMMUNICATIONS EQUIPMENT** **Update 2007 and 2016**

**2.8.1 CONDENSERS AND PROPANE TANKS:** Screening of heat pumps, ventilators, air conditioning condensers, generators, is required for units located on facades that face a street. Screening may be accomplished by using finished or unfinished (salt-treated) vertical board fence enclosures or lattice enclosures, properly supported, trimmed, level and plumb so that it blends in with the outside décor of the house. Units also may be screened by a yard fence as approved by the CFAC committee. The units may also be screened by shrubbery. Screening must be with evergreen plants for year round screening using enough plants to soften the appearance of these structures. Grasses should not be used. The Developer would prefer screening on all sides allowing a 3 ft wide opening. The Developer expects the homeowner to use screening material other than shrubbery if there are 3 condensers, or more units including elevated units. Propane tanks must be buried. Tanks have to be installed minimum of 10 feet away from a abuilding or property line and not be located neat vehicular traffic. **2007 Screening Update CHANGES TO DESIGN STANDARDS** (June 12, 2007) **2016 Propane Gas Tank Update**, Changes (March 2016)

**2.8.2 GAS METER SCREENING:** Gas meters located so as to be visible from the sidewalk, as determined by the CFAC, shall be screened from view by appropriate landscaping or other approved screening.

### **2.8.3 SATELLITE ANTENNAS**

- a) **PERMITTED ANTENNAS:** The following antennas are permitted by the Federal Telecommunications Act of 1996
1. An antenna that is designed to receive direct broadcast satellite service, including direct-to-home satellite service, that is one meter (39") or less in diameter.
  2. An antenna that is designed to receive video programming services via multi point distribution services, including multi-channel, multi point distribution services, instructional television fixed services, and local multi point distribution services, and that is one meter (39") or less in diameter or diagonal measurement.
2. An antenna that is designed to receive television broadcast signals.
- b) **LOCATION:** To the extent feasible, antennas should not be visible from street. The following priorities shall be observed in determining antenna locations:
1. Mounted directly on the rear of the house, on a roof plane facing the rear, or on the back side of a chimney.

2. Mounted on the ground in the rear yard.
  3. Mounted on a pole, an existing other structure, or a tree in the rear yard.
  4. If no clear signal may be obtained in any of the above locations, mounted on the ground or, if necessary, on a pole, in the front yard, or on the front plane of the house.
- c) APPEARANCE AND SCREENING: Insofar as possible, the visibility of antennas should be minimized using one or both of the following methods:
1. Screen the antenna from view from the street with natural plantings, trees and shrubs, to the extent they do not compromise the signal reception.
  2. Use antennas with a dark or muted color, or paint the antenna a muted color to blend with the background surface or with the surrounding landscape.
- d) NO ADDITIONAL REGULATION BY THE ASSOCIATION: Under Federal law, antennas that meet the requirements of this section may not be further regulated by the association as to type or placement. Residents are encouraged to use care in the selection and placement of antennas to preserve the appearance standards and character of Crossroads Farm.
- 2.8.4 STRUCTURED WIRING: It is highly recommended that each home have Structured Wiring as defined in the Telecommunications Industry Association (TIA) standards 570a.

## 2.9 EXTERIOR LIGHTING AND FIXTURES

- 2.9.1 POST LAMPS: Although not required, post lamps are encouraged.
- 2.9.2 OTHER PERMITTED FIXTURES – **SEE UPDATES below**
- a) GENERAL TYPES PERMITTED: Other exterior light fixtures shall be limited to lights at entrances, at garage doors, low intensity landscape or driveway lights, and side or rear (only) eave-mounted floodlights directed completely within the applicant's lot area. **ALL MUST BE APPROVED BY THE CFAC.** Colored lighting will not be permitted. This requirement is to limit the number of outside lights and to assure that it is aesthetically compatible with the standards of quality for the community. This does not apply to temporary holiday lighting.
- b) STYLES: Light fixtures, except for floodlights, shall be compatible in style with the style of the house.
- c) FAÇADE FLOODLIGHTING: Floodlighting of front facades will be permitted by the CFAC on condition that floodlights use only incandescent fixtures, and the fixtures are concealed in landscape beds. No more than one fixture for each 30' of facade frontage will be permitted.

## 2009 Exterior Light Fixture Update

### d) 2.9.2 Other Permitted Exterior Fixtures

(A) General types permitted: Add "Low Intensity Landscape or Driveway Lights" and "Side or Rear (only) eave-mounted floodlights directed completely within the Applicants lot area" Must be approved by CFAC. This requirement is to limit the number of outside lights and to assure that it is aesthetically compatible with the standards of quality for the community.

### 2.9.3 PROHIBITED FIXTURES

High intensity house or pole mounted area or security lights are prohibited. "High intensity" refers to ballasted light fixtures using high or low-pressure sodium, mercury vapor, or metal halide lamps. No colored lighting permitted.

## 2.10 FENCES

### FENCE CLASSIFICATIONS

There are three classifications of fences that will be used in Crossroads Farm, Decorative Fences, Yard Fences, and Privacy Fences. Each classification has different requirements and limitations. Each classification is defined below, with Standards for each. Applicants for fence approval should review each classification and determine what type of fence they wish to erect, then apply under the appropriate classification.

#### 2.10.1 DECORATIVE FENCE: (see *Illustration 2.9.1* in Appendix A)

a) **DEFINITION:** A picket fence, framed lattice fence, or a fence that combines any of these can be a decorative fence if it meets the specification of this paragraph. A decorative fence shall consist of three primary defining elements:

- 1) All parts shall be sanded and painted (or stained) decay-resistant wood. Cedar is recommended. PVC fencing will also be approved. Color shall be white unless otherwise approved by the CFAC. The CFAC will also consider wrought iron or pre-finished steel picket fences on a case by case basis. The fence style shall be appropriate to the house style.
- 2) All posts shall be square or turned decorative styles with post caps or decorative tooled tops. Oversize posts or piers shall be used at all terminations, gates and openings.
- 3) All supported fences shall be centered on posts and piers. Fence runs may not pass on the outside of the post or pier. For picket fences, the supporting rails shall be supported at the center of each post, with pickets facing to the outside of the lot. For framed fences, the framed structure shall be centered on the posts or piers.

- b) LOCATION AND USE: Approved decorative fences may be located on any part of the lot with the following limits:
  - 1) Side and Rear Yards: Any approved decorative fence may extend into any side yard (except corner side yards), any rear yard up to the property line that abuts another lot, or directly up to any property line that abuts common area or property not in Crossroads Farm.
  - 2) Framed fences may extend up to the front corners of the house. Special designs which frame and accent the house are encouraged. Decorative gates and arbors are also encouraged.
- c) HEIGHTS: Fences shall not exceed 48" in height (average) to the top of the pickets. Posts and piers may be higher as required by the design.
- d) ADJOINING FENCES: When a fence has been constructed on an adjoining lot up to a side or rear property line that abuts your lot, you may construct an approved fence of the same or different design on your lot that meets (abuts) the adjoining fence. You may not construct your own fence on the property line that has already been fenced by a neighbor.

#### 2.10.2 YARD FENCES (See *Illustration 2.9.2* in Appendix A.)

- a) DEFINITION: Yard fences are defined as any open picket fence. Fences may be constructed of finished or unfinished treated wood, naturally decay resistant wood or PVC product. Simple square posts are permitted. Supported fence rails may run on the outside of the post. Pickets shall face the outside of the lot. 2" x 4" mesh galvanized welded wire may be used on the inside of rail fences to contain small children or dogs. Any other proposed fence is subject to the CFAC.
- b) LOCATION AND USE: Yard fences shall be permitted in rear yards only and shall not extend any farther forward than the front corners of the house. Front yard fencing is not permitted. The fence may extend up to any property line that abuts another lot, or directly up to any property line that abuts common area or property not in Crossroads Farm. In corner side yards, yard fences may extend up 15' from the property line.
- c) LANDSCAPE SCREENING: The CFAC may require screening shrubbery or trees along the outside of fences, or in front of any fence where noticeably visible (in the opinion of the CFAC) from the street.
- d) HEIGHTS: Yard fences are limited to 48" in height from the ground to the top rail or to the top of the pickets.
- d) ADJOINING FENCES: Where a fence has been constructed on an adjoining lot up to a side or rear property line that abuts your lot, you may construct an approved fence of the same or different design on your lot that meets (abuts) the adjoining fence. You may not construct your own fence on the property line that has already been

fenced by a neighbor.

**2.10.3 PRIVACY FENCES (See *Illustration 2.9.3* in Appendix A.)**

- a) **DEFINITION:** Privacy fences are generally higher fences of a closed design limiting or preventing visibility through them. Fences may be constructed of finished or unfinished treated wood, naturally decay resistant wood or PVC. Simple square posts are permitted. Supported fence rails may run on the outside of the post. Boards or lattice shall face the outside of the lot.
- b) **LOCATION AND USE:** Privacy fences that do not meet the design standards for Decorative Fences shall be limited to an area directly behind the rear plane of the house, enclosing a rectangular area, and extending no closer than 15' to any property line. Privacy fences may not extend into corner side yards. For patio lots, privacy fences may come off the rear corners of the house where it abuts the patio lot line setback.
- c) The CFAC may require screening shrubbery or trees along the outside of privacy fences, or in front of any fence where noticeably visible (in the opinion of the CFAC) from the street or neighboring properties.
- d) Privacy fences are limited to a maximum height of 84" to the top of the fence.

**2.10.4 PROHIBITED FENCE TYPES**

The following fence types are prohibited for use in any area of Crossroads Farm: turned rail, or any other rough-cut rail fences, chain link fences, barbed wire fences, fences with metal posts, stockade style solid picket fences, board, split rail and post and wire fences. Any fence type not described in this article, shall be submitted for review by the CFAC to determine if it may be used, and under which classification.

**2.11 PLAY EQUIPMENT AND STRUCTURES**

**2.11.1 DEFINITIONS – SEE UPDATES below**

- a) **PLAY EQUIPMENT:** Play equipment is often highly visible, and depending on the design and application, may defeat many of the aesthetic and environmental goals that the community has sought to achieve. For this reason, the Association requires approval of all exterior play equipment prior to placement on the lot. For the purposes of this article, play structures and equipment shall include but not be limited to the following:

SWING SETS  
SLIDING BOARDS  
JUNGLE GYMS - CLIMBING STRUCTURES  
TRAMPOLINES

- b) **ENCLOSED STRUCTURES:** Forts, tree houses, Playhouses, or other enclosed play buildings with an interior height of 6'-0" or less floor-to-ceiling, and with a total floor area of less than 36 square feet shall be considered to be Play Structures. Dog houses

are also permitted under this section. Larger buildings are considered to be Accessory Buildings regulated under Article III, section 3.5 of these Standards.

#### 2.11.2 PLACEMENT AND SCREENING

- a) PLACEMENT: Play Equipment shall be located in rear yards only, away from property lines adjacent to other houses or streets, away from property lines and complies with golf course setbacks, as well as away from a neighbor's direct view where possible.
- b) SCREENING: The CFAC may require that certain play equipment be screened from view. The standard requirement for screening will be to provide densely shaped evergreen shrubs or trees of a height when planted of at least 2/3 the height of the structure, and so placed as to provide a continuous screen on the stipulated side. Planting can be in a continuous row or staggered. A variety of shrubs/trees may be used in addition to single species solutions. It shall be the responsibility of the homeowner to submit to the Board a plan and proposed plant types for review. Privacy fences may also be proposed by the homeowner for construction as screening.

#### 2.11.3 PLAY EQUIPMENT CONSTRUCTION AND USE

- a) Factory built, pre-finished equipment is preferred but not required. Home-built Play Equipment should be neat and orderly in appearance and finish.
- b) Homeowners should exercise care and common courtesy in using Play Equipment that creates noise.
- e) Play equipment which has fallen into disrepair or has been outgrown by children should be removed from the property.

### 2.12 BASKETBALL GOALS – **Update 2007/2014**

2.12.1 Basketball goals may be installed adjacent to driveways in accordance with the following criteria:

- a) The structure may not directly face the street. Basketball goals may be mounted on the side of the driveway facing the house and not farther forward than the front corner of the house, unless otherwise approved by the ARC (see change/exceptions below).

**Exceptions to the above:** A basketball goal may be placed on a front entrance drive but the center of the basketball goal must be no farther forward than 10 feet away from the front corner of the house and must not face the street.

- b) The mounting pole must be black pre-finished metal or painted a neutral earth tone and sufficiently anchored in concrete so that it remains perfectly upright at all times.

- c) The backboard must be grey, white, or clear acrylic. Specifically colored backboards are not permitted.

- e) No chain netting is allowed due to noise.

- f) Portable basketball goals are allowed in accordance to the guideline defined above.

They must not be placed or allowed to remain in the streets, common areas or property owned by someone other than the owner of the basketball goal.

g) If additional weight is needed for stabilization of the portable goal, it must be added internally in the base provide.

h) ALL goals must be kept in good condition or removed from the property.

## **ARTICLE III - ARCHITECTURAL GUIDELINES**

### **3.1 ARCHITECTURAL GUIDELINES - GENERAL**

#### **3.1.1 TYPE OF RESIDENCE** - There are three types of housing permitted in Crossroads Farm:

- a. Single Family Homes - Single family homes in either one- or two-story design. Single story homes shall have a minimum of 2100 square feet of enclosed dwelling area. Multi story homes shall have no less than 1200 square feet on the first floor.
- b. Cottages - Single family homes on smaller lots with a minimum 5.5' side yard setback on one side of the lot only. They must have a minimum of 1300 square feet of enclosed dwelling area.
- c. Villas - Two single family homes attached on each lot. They must have a minimum of 1200 square feet of enclosed dwelling area.

#### **3.1.2 MINIMUM FLOOR AREAS**

- a) All houses in Crossroads Farm are subject to minimum finished floor area requirements. Homes that do not meet the minimum square foot requirements may be considered on an individual basis.
- b) The following areas can not be used to help meet the minimum finished floor area: garages, basements, open or screened porches, terraces, decks, attics, attached storage sheds, or unfinished "bonus rooms" on the first or second floors.

#### **3.1.3 MAXIMUM SIZE**

- a) The CFAC reserves the right to disapprove any proposed house which appears to be excessively large for the selected lot, or for the context of the neighborhood. Criteria used in making this determination may include a combination of height and width appearance and/or crowding of the property lines.
- b) Houses shall not be more than 2 1/2 stories in height above a crawl space or basement. (1/2 story is defined as useable floor area under a gabled roof.)

#### **3.1.4 HOUSE DESIGN CONCEPTS**

Houses in Crossroads Farm shall be designed in one of the following styles (see Definitions in the Appendix): traditional, transitional or contemporary. Not all styles are permitted in all

neighborhoods. Strong emphasis will be placed on the design character of facades that face streets. Primary design requirements for houses include:

- a) **TRUE TO STYLE:** Front and side street facing facades shall utilize all appropriate design elements, defined below, which characterize the style of architecture selected. The CFAC may require modifications as it sees fit to achieve the aesthetic goals of the style of architecture selected. Simpler designs may be permitted on rear facades and sides which are not directly visible from streets.
- b) **MASSING, SCALE AND OPENINGS:** Exterior walls, planes, and masses shall be of a residential scale with sufficient openings for light, view and air consistent with other houses in the neighborhood. The CFAC reserves the right to require that large planes be broken up with additional windows, or be screened with vegetation to maintain appropriate scale.
- c) **TRIM AND DETAILS:** On traditional and transitional houses, street-facing facades shall include appropriate trim and details. Elements such as cornices, fascias, pediments, columns, windows and door moldings, railings, balusters and similar details shall be included in sufficient sizes and number to complete the traditional/transitional design. Refer to Section 3.2.4 for detailed information.
- d) **ROOF PITCHES:** Minimum roof pitches are required on houses for aesthetic reasons and shall be subject to the CFAC. The minimum roof pitch is 7/12 for the main house and 3/12 for secondary roofs. The CFAC *may* permit a lower slope roof on a house if the architectural style supports this design and it does not conflict with the context of the neighborhood.
- e) **UNAPPROVED DESIGNS:** The CFAC reserves the right to reject highly stylized houses with overstated eclectic design elements, contemporary designs, houses with overly mixed styles, or houses with insufficient stylistic theme or treatment.

### 3.1.5 GARAGES

Attached garages shall be integrated into the overall design and massing of the house. Front entry, side entry, rear entry, and angled garages are permitted. Garage entrances shall not face the side street on corner lots, unless specifically approved by the CFAC. All other garage requirements shall be dealt on a case by case basis.

## 3.2 ARCHITECTURAL GUIDELINES - CONSTRUCTION

### 3.2.1 FOUNDATIONS AND MASONRY

- a) **PERMITTED FOUNDATION MATERIALS:** All visible portions of exterior foundations shall be constructed of brick or stone. For houses with primary facades constructed entirely of brick, the foundation brick shall match the brick facade. Synthetic stucco foundations may be permitted for facades entirely constructed of synthetic stucco.
- b) **COORDINATION OF COLORS:** Masonry and mortar colors should be coordinated with

other colors on the house, and must be approved by the CFAC.

- c) FOUNDATION VENTS: For houses constructed on crawl spaces, louvered vents shall be required on all front facades.
- d) STEPPED-DOWN SIDING: For houses with walk-out basements or other conditions where the grade drops along a facade foundation, the siding shall not step down below the first floor level over the length of that facade. At the rear facade, siding may continue to the floor level of a walk-out basement only if the rear facade is visually broken by a first floor deck.

### 3.2.2 FIREPLACES, CHIMNEYS AND FLUES

- a) PERMITTED CHIMNEY TYPES: When chimneys are used, masonry or frame chimneys are required on primary facades. Frame chimneys on foundations are permitted only on facades that do not face streets or amenities. All chimneys shall have foundations of materials that match the house foundation. Cantilevered frame chimneys are not permitted.
- b) CHIMNEY DESIGN: The width and depth of chimneys shall be appropriately sized in proportion to the size and height of the house, as determined by the CFAC.
- c) METAL FLUE REQUIREMENTS: Unenclosed metal flues shall not extend more than 36" above their roof penetration and shall not be visible from the front of the house. Where higher flues are required by code, they shall be enclosed in an approved chimney structure. These flues must be finished to match color of roofing material or painted flat black.
- d) DIRECT VENT FIREPLACES: For direct vent gas fireplace boxes which protrude beyond the exterior plane of the house, the frame structure must have a foundation to match the house foundation, and all the exterior materials and finishes used to enclose the fireplace box must match the adjacent facade. Direct vents may not be located on front facades.

### 3.2.3 EXTERIOR SIDING

- a) HORIZONTAL LAP SIDING: Horizontal lap siding may be manufactured from natural wood or concrete fiber. Stand Dutch lap, shiplap and beaded lap siding are generally acceptable. Vinyl siding is permitted in all neighborhoods in accordance with paragraph (e) below.
- b) SHINGLE SIDING: Shingle siding may be manufactured from natural wood or concrete fiber. Shingle siding may be finished with paint, or a solid color stain. Vinyl shingle siding is also permitted.
- c) FACE BRICK AND STONE: Brick or stone may be used for all facades or for portions of facades as approved by the CFAC. Brick or stone "fronts" are permitted in a combination with siding on other facades. Manufactured stone will be considered on a case-by-case basis. Provide samples of all proposed masonry and mortars for approval

by the CFAC.

- d) NATURAL OR SYNTHETIC STUCCO: Integrally colored cement stucco and synthetic stucco (also called "exterior insulation and finish system" or "EIFS") may be used on facades or portions of facades when appropriate to the architectural style. Stucco elements such as foundations or chimneys may not be used on facades finished with other materials.
- e) CRITERIA FOR VINYL USE: The following criteria shall be used by the CFAC in judging the acceptability of any vinyl products submitted:
  - 1) Requests for approval of vinyl siding must be accompanied by manufacturer's product specification sheet, physical samples of product, style, and color desired, and details and samples of proposed trim pieces and locations.
  - 2) The submitted product must be the manufacturer's premium grade vinyl product as evidenced by manufacturer's printed literature, in order to be considered by the CFAC for approval.
  - 3) The design of the house, including architectural style, detailing, and size of wall surfaces shall be considered by the CFAC in determining the acceptability of a vinyl product for siding. The CFAC, at its discretion, may require modifications to wall surfaces including the addition of windows, doors, or breaks in the surface in order to reduce the number of locations that must be sided with long runs of vinyl requiring one or more vertical joints.
  - 4) Unless otherwise noted in the CFAC's written approval for the use of a vinyl product, the following conditions shall automatically apply to each approval:
    - a) Installation shall meet or exceed the standards in the handbook of the Vinyl Siding Institute, and the conditions stated below.
    - b) In any clear run of siding measuring 12'-0" or less (between openings, corners, projection, etc.) only single length panels shall be used. No vertical joints are permitted.
    - c) In clear runs of siding over 12'-0", joints may be provided in a random pattern in the wall. Do not "stair-step" joint patterns. In clear runs greater than 12'-0" but less than 18'-0" in length, a maximum of one vertical joint is permitted in any horizontal line of siding. In clear runs greater than 18'-0" but less than 30'-0" a maximum of two joints are permitted in any horizontal line of siding.
    - d) On the left and right sides of the house all joints shall face to the rear of the lot.
- f) OTHER MATERIALS: Materials other than those listed above will be considered on a case by case basis by the CFAC.

- g) **COMPATIBILITY OF MATERIALS:** Where siding materials are used in combination they shall be aesthetically compatible with each other as determined by the CFAC.

#### 3.2.4 EXTERIOR TRIM

- a) **GENERAL REQUIREMENTS:** Exterior architectural detailing shall be consistent with the overall design theme of the house. Eaves, band-boards, cornices, rakes, columns, pilasters, corner boards, vents, window and door trim shall be consistent with the style of the house and sized appropriately to the scale of the house. The CFAC reserves the right to require modifications to the facade to accommodate appropriate trim.
- b) **CORNICES AND EAVES:** All primary facades shall have a minimum three (3) member cornice and eave consisting of frieze board, eave and fascia.
- c) **RAKES:** Generally, front facing gable ends shall have projected box rakes with terminations compatible with the cornice style of the house. Side wall gables may have flat rakes unless otherwise appropriate to the architectural style of the house.
- d) **CORNER TRIM:** All corner trim shall be a minimum nominal four inches (4"), however, a nominal six inch (6") trim is encouraged.

#### 3.2.5 WINDOWS AND DOORS

- a) **WINDOWS:** Aesthetic design consideration shall be given to the location of all windows and doors which face the front of the house, or any other street. The CFAC may require additional windows where it deems appropriate. All windows and doors shall be of a style and size that is appropriate to the design of the home. The CFAC reserves the right to require different styles, sizes or locations of windows when, in its opinion, these changes are necessary to maintain the aesthetic quality of the facade. Vinyl or pre-finished metal windows are permitted. Circle head and ellipse head windows are permitted.
- b) **WINDOW TRIM:** Traditional windows on street facing facades shall be trimmed with traditional wide built-up moldings, or shall have shutters. A brick mold is required on windows in brick walls. Shutters should be compatible with the style, materials and colors of the house and should be of proper proportions to the windows they adjoin.
- c) **WINDOW AIR CONDITIONERS:** Window and through-wall air conditioning units are prohibited on street facing or street visible facades.
- d) **FRONT DOORS:** Standard painted six-panel doors will generally be permitted for the main front door of the house. Double front doors, doors with double side lights, and special design panel doors and doors with half lights are encouraged. Door styles must be submitted for approval. Metal doors designed to look like wood doors must be approved by the CFAC.
- e) **STORM DOORS:** Storm doors shall be compatible with the units that they cover and with the style and color of the house. Excess ornamentation not consistent with other

ornamentation on the house, is prohibited. In general, single full light doors or traditional multiple light doors which match the design characteristics of the doors they cover will be approved.

- f) AWNINGS AND TRELLISES: Sun control devices such as awnings and trellises must be compatible with the architectural style, character, and color of the house. The CFAC reserves the right to prohibit the use of such devices on the front of any home.
- g) GARAGE DOORS: Garage door detailing shall be consistent with the architectural style of the house. Metal garage doors shall approximate the appearance of wood garage doors. The CFAC may reject doors that do not adequately meet this standard.
- h) BAY WINDOWS: On primary facades, bay windows must meet the following requirements:
  - 1) Windows must be wide enough to fill each bay facade without filling with siding.
  - 2) Siding may be used under windows, with a bandboard and drip cap at the base of the siding. On these bays, a foundation is required.
  - 3) Cantilevered bays shall utilize raised panel facades below windows. No lap siding may be used.

### 3.2.6 ROOFS AND ROOF ACCESSORIES

- a) ROOF MATERIALS: Minimum approved roofing shall be 25 year dimensional asphalt/fiberglass composition shingles. Upgraded roofing materials include cedar shingles, cedar shingles, standing seam metal, and slate. Other materials will be judged on their own merits, but are subject to disapproval by the CFAC. In general only one material may be used on all roofs on the same house, except that porch roofs may be of a different material than the main roof.
- b) SHINGLE COLORS: Composition shingle colors are recommended to be in the medium to deep brown or grey ranges. Very light colors or white shingles will not be approved.
- c) GUTTERS AND DOWNSPOUTS: Gutters and downspouts shall be pre-finished to match the adjacent building material color. Downspouts shall include short turnouts at their outlets. If extensions are required, they shall utilize corrugated pipe below grade.
- d) FLASHING: Highly visible roof flashing shall be copper or pre-finished to match the adjacent building material color. Painting is acceptable for less visible flashing, however no exposed mill finished flashing is permitted. Imitation copper will not be permitted.
- e) ROOF VENTS: Attic ventilators and other roof penetrations shall be low profile designs. No roof penetrations, metal ridge vents, or accessories shall be visible above the ridge of the roof nor shall they be located on the front roof plane of the house. Covered ridge vents are permitted. Fireplace chimneys are not regulated by this provision.
- f) ROOF DORMERS: Dormer windows and eyebrow windows are permitted as consistent with the style of the home.

- g) **SKYLIGHTS:** Skylights will not be approved for the front roof planes of traditional houses. Where skylights are permitted, they shall be trimmed in pre-finished metal similar to the roof color. Color to be approved by the CFAC.
- h) **SOLAR COLLECTORS:** Solar collectors may only be considered where they are integrated into the design of the structure and that design is acceptable to the CFAC. Collectors shall not be placed on front facing roofs or roofs directly visible from streets.

### 3.2.7 PORCHES AND DECKS

- a) **FRONT PORCH CONSTRUCTION:** All uncovered front entry stoops shall be masonry. Covered stoops and extended front porches may be either wood or masonry. Lattice work is required as infill between the solid trimmed supports. Masonry supported porches may have concrete floor. The supporting foundation wall shall match the house foundation. Band-boards, handrails and railings shall be painted wood or metal railing of a design to match the character and style of the house or other material as the CFAC may approve.
- b) **FRONT PORCH WIDTH:** Front porches shall be a minimum of 5' wide from the house face to the porch floor edge.
- c) **FRONT STEPS WIDTH:** Front steps shall be a minimum of 4' wide. Wood steps on primary facades shall have closed and painted risers.
- d) **FRONT PORCH FOUNDATIONS:** Stoops and extended front porches shall be supported on either continuous foundations or on a minimum of 12" x 12" brick piers. Open areas under extended front porches of 12" or greater in height above grade shall be concealed with lattice.
- e) **REAR DECK CONSTRUCTION:** Rear patio decks shall be constructed of quality exterior grade or pressure treated wood, or other materials as the CFAC may approve, including steps with closed risers and railings. Grade level patios and terraces are encouraged. Decks shall be supported on minimum 6 x 6 wood posts. The space beneath all decks higher than 2' above grade but less than one story above grade shall be enclosed with lattice or other approved screening material.
- f) **DECK FINISH:** Decks constructed at or below the first floor level of a house may be constructed entirely of unfinished treated lumber, however staining or painting of decks is acceptable. Decks or balconies constructed above the first floor level shall be finished to match the house except for deck flooring which may be unfinished. Deck flooring may be unfinished treated lumber or approved synthetic decking boards.
- g) **SECONDARY PORCHES:** On secondary facades, open porches, stoops and screened porches shall all be constructed of finished materials to match the house, except for deck flooring.
- h) **SPAS:** Spas and hot tubs are permitted on attached rear decks. Remote decks for spas and hot tubs, or free standing units must be located behind the house so as not to be visible from the street.

### **3.3 ARCHITECTURAL GUIDELINES - COLOR**

#### **3.3.1 TYPES OF APPROVED FINISHES**

- a) All exterior colors must be approved by the CFAC prior to painting or the application of pre-finished materials.
- b) Painted siding shall be painted with an oil or latex based exterior house paint. Semi-transparent stains and clear finishes are generally not permitted, but will be considered on a case-by-case basis by the CFAC.
- c) Vinyl siding shall be pre-finished with an integral color, as approved, and shall not be painted.

#### **3.3.2 CRITERIA FOR JUDGING COLOR**

- a) The same or very similar color schemes may not be used on adjacent houses nor on houses directly across from each other. The CFAC may also reject a proposed siding color if it determines that the color has been used on too many houses in the same neighborhood.
- b) Color selections are not limited to a restricted list, however, colors should generally be muted in hue, especially for large areas such as siding. Stronger colors may be approved for focal points such as doors and shutters. Colors selected must be harmonious with each other and with other finishes such as masonry foundations, and roof colors. Shingle and metal roof colors shall be submitted at the same time as house colors. Provide a sample or color chip for approval.
- c) Additions must be finished in the same colors as the house.

### **3.4 ADDITIONS TO HOUSES**

#### **3.4.1 CONSISTENCY OF DESIGN**

To ensure consistency in the design of the house and minimize visual disruption of the neighborhood, additions must match the design characteristics of the house. Specifically:

- a) The architectural style shall match the style of the house. The massing of the addition shall be similar in the use of shapes to that of the house, but proportionately smaller so as not to overpower the house. Roof styles and slopes shall be similar.
- b) Openings shall be required in additions, including windows and doors, in a similar fashion and extent (min.) as in the original house. Windows and doors shall be of matching material as those in the house. In general windows and doors should match the style of those in the existing house. Exceptions may be granted at the discretion of

- the CFAC for sun rooms or other specially glazed areas.
- c) Architectural elements such as corner and rake boards, soffits, eaves, window and door trim, and shutters shall match the style of the same elements on the house.
  - d) All exterior finish materials and colors shall match the house. Matching colors on dissimilar materials is not acceptable.
  - e) The space beneath any structure constructed on piers (including decks) higher than 2' above grade but less than one story above grade shall be enclosed with lattice or other approved screening material.
  - f) Solarium additions shall be constructed of finished wood framing or of a pre-finished metal consistent with the house exterior color scheme.
  - g) Awnings or other sun screen devices must be consistent with the architectural character of the house.

### **3.5 ACCESSORY BUILDINGS (SHEDS) *Update 2007***

Construction or placement of any accessory building (shed) of any kind is prohibited after August 29, 2007.

### **3.6 GAZEBOS**

#### **3.6.1 DESIGN AND CONSTRUCTION**

Acceptable gazebos shall generally be octagonal (8) sided structures consisting of a base deck, decorative columns or posts, optional railings, and a sloped roof. Stepped roofs and/or cupolas may be added. Structures of other shapes such as square structures will be considered on the basis of equal architectural merit. Additional standards include:

- a) All exposed wood members, except decking, shall be surfaced (finished smooth) on all exposed sides. Posts, railings, and other open wood members shall be turned, edged, or worked into shapes consistent with standard gazebo designs. Unfinished, dimensional lumber will not be approved for exposed open or free-standing members.
- b) Additional trim, detailing, brackets, cupolas, etc. shall be appropriate to the design and size of the gazebo. The CFAC reserves the right to deny gazebo designs with excessive and inappropriate detail, as well as with insufficient detail.
- c) Gazebos may be built on site or assembled from kits. Applications for approval must include either scale drawings of plans and elevations, or manufacturer's brochure showing the exact gazebo being purchased, with dimensions and specifications.

### **3.6.2 COLORS AND FINISHES**

Gazebos constructed on decks attached to the primary house shall be painted to match the trim color of the house, and roofed with shingles that match the house shingles. Free-standing gazebos set away from the house may be painted to match the house trim or finished with a clear finish. Roofing shall match the house or be cedar shake.

### **3.7 CULVERTS**

Individual lot owners shall install Reinforced Concrete Pipe Culverts, Class III, with FES\_1 end section at all driveway locations where roadside ditches necessitate their need. Sizes and placements shall be consistent with VDOT Standards current at the time of construction.

## **ARTICLE IV - OTHER STANDARDS**

### **4.1 PROPERTY MAINTENANCE**

**4.1.1** All approvals for property improvements are granted on the condition that these improvements are maintained in good condition such that they do not visibly deteriorate over their life. To maintain compliance with these standards, each property owner has the following responsibilities:

**a) Property and Lawn Care**

- 1) seeding, weeding, regular cutting, and watering of lawns, including the grass strip next to street or within drainage swales which may technically be within a road right-of-way or common area.
- 2) pruning and care of all trees and shrubbery.
- 3) snow removal from adjacent sidewalks and paths.
- 4) painting and external care of structures and other improvements.

**b) Trash**

- 1) disposal of trash and other refuse on a weekly basis.
- 2) no accumulation or storage of trash or bulk materials on any lot.
- 3) screening of any trash containers kept outside of the house or garage.

**c) Animal Control**

- 1) domestic pets only, permitted. No wild, exotic or "game" type animals permitted.
- 2) compliance with Rockingham County animal control laws including licensing, leash laws, and animal waste clean-up.
- 3) any complaints concerning animals to be made to the Rockingham County Animal Control Division.

### **4.2 YARD STORAGE**

- 4.2.1 VEHICLES: The following vehicles may not be parked or stored on any lot (except in an approved garage), common area, or street in Crossroads Farm: golf carts, campers, house trailers, horse and utility trailers, recreational vehicles, boats, motorcycles, school buses, or commercial vehicles over 6,000 lbs net vehicle weight, or with dual wheels, inoperable vehicles, vehicles without current registration, or similar items. These vehicles must be parked in an area designated by the Association, or if no such area is designated, they must be parked outside the development. Major vehicle repairs may not be undertaken except in enclosed garages. Minor emergency repairs such as battery charging or changing, replacing a flat tire, and jump starting are permitted in the open on any lot.
- 4.2.2 WOOD PILES: Firewood may be stored on lots in the rear yard only, and no closer than 10' from any side property line. The CFAC will consider the design and location of covered structures for wood piles. Fabric tarpaulins may not be used for continuous cover of wood piles.
- 4.2.3 TEMPORARY MATERIALS STORAGE: Temporary storage of construction, yard work, or landscape materials is permitted in the rear yard only. Material may be covered with natural (green, tan or brown) colored tarpaulins. Bright colored tarpaulins are not permitted.

## **APPENDIX A**

### **ILLUSTRATIONS**

The illustrations on the following pages are referenced to the Design Standards by paragraph number. Please refer to the designated paragraph number (also the illustration number) for the paragraph containing requirements relating to the specific illustration.

#### **List of Illustrations**

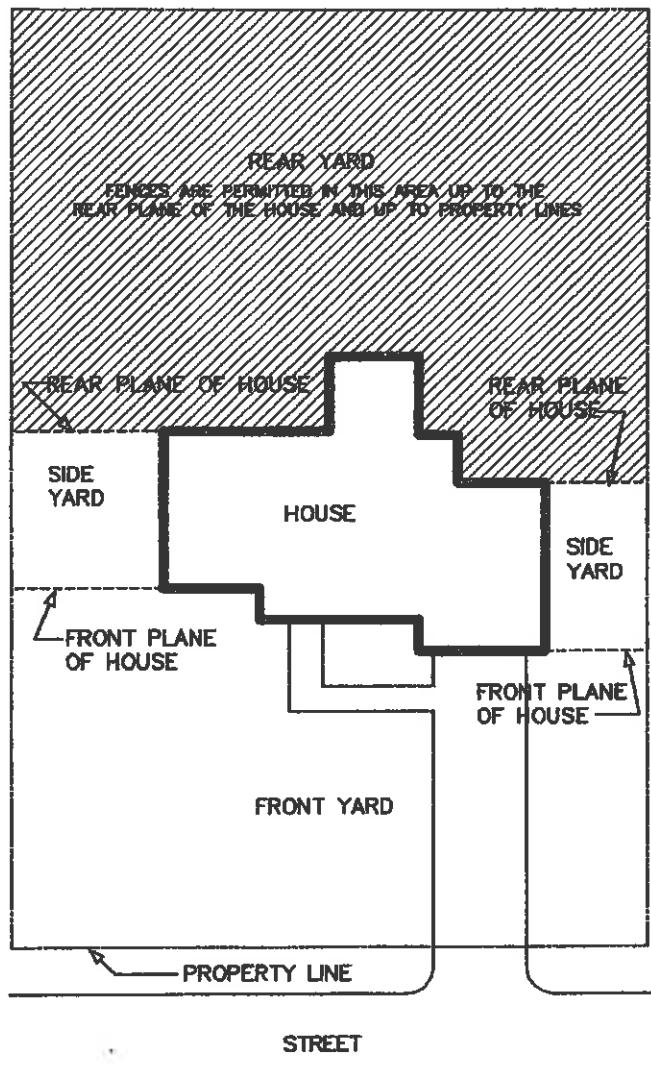
- 1.4.3      Required Review Process
- 2.9          Permitted Fence Locations
- 2.9.1        Decorative Fence Types
- 2.9.2        Yard Fence Types
- 2.9.3        Privacy Fence Types

**Illustration 1.4.3 - Required Review Process**

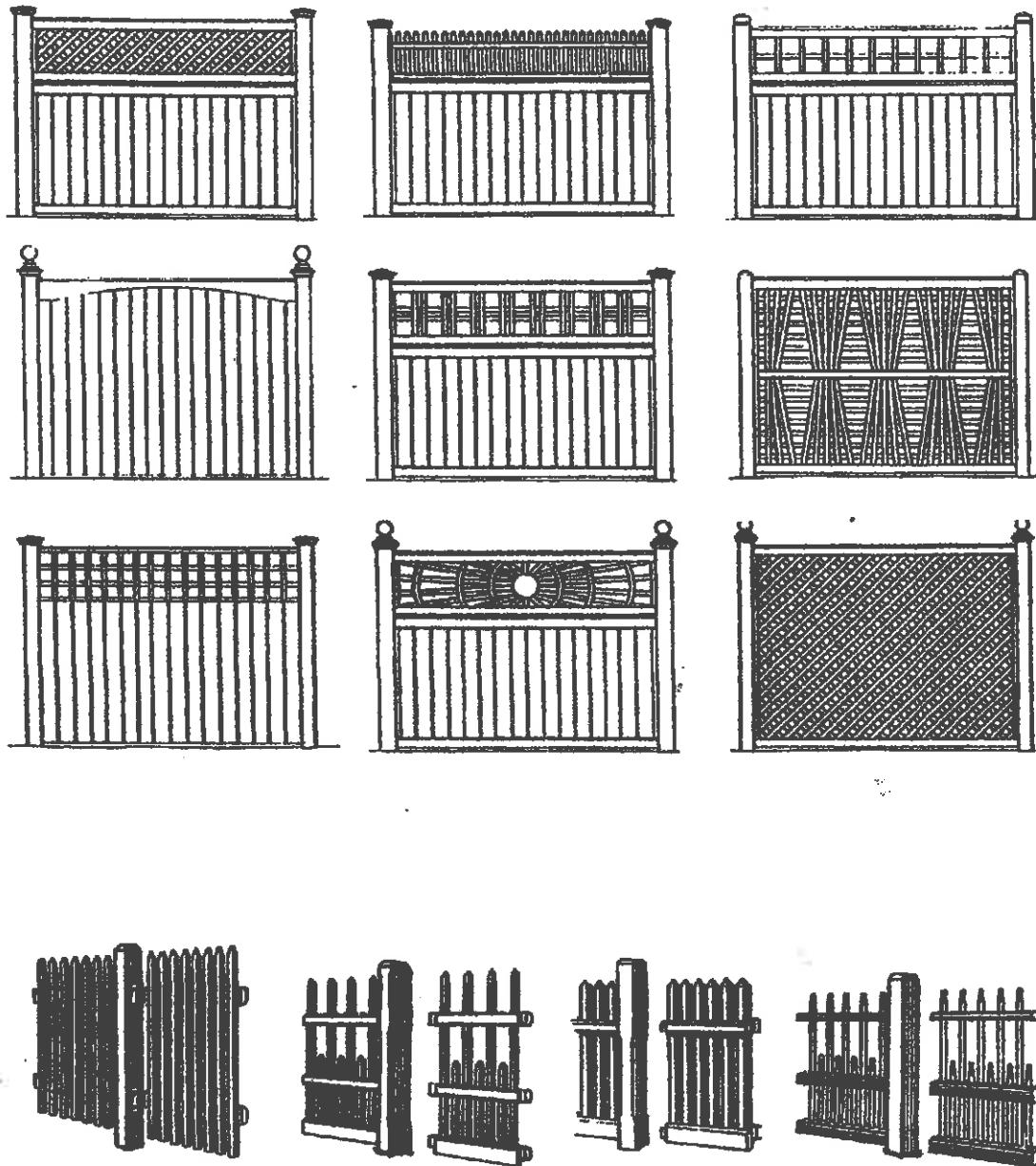
	CFAC Review of Building and Site Plans	On-Site Review of Site Stakeout	CFAC Review of Colors and Finished	CFAC Final Inspection	Issue Certificate of Compliance	No Review Required (See Standards)
New Homes	Required	Required	Required	Required	Required	
Residential Additions	Required	At CFAC Option	Must Match House	Required	***	
Accessory Structures	Required	At CFAC Option	Must Match House	Required	***	
Property Improvements	Required	At CFAC Option	See Standards for Permitted Finishes	Required	***	
Fences	Required		See Standards for Permitted Fences		***	
New Colors & Materials			Required	Required	***	
Play Structures, Antennas						See Standards for Conditions

\*\*\* - Notice to Property Owner: Property must be in compliance with the Design Standards at the time of resale; however an inspection to ensure compliance may be requested by contacting the Association Office at the completion of any property improvement.

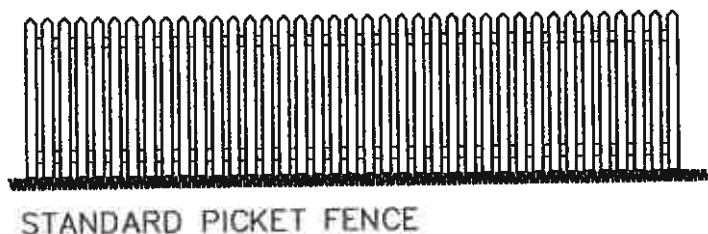
**Illustration 2.9 - Permitted Fence Locations**



*Illustration 2.9.1 - Decorative Fences*

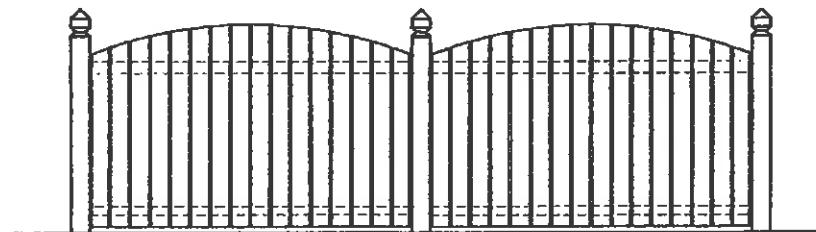


*Illustration 2.9.2 - Yard Fence Types*

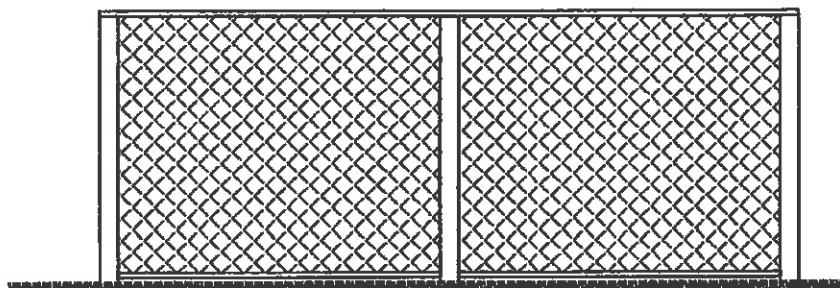


STANDARD PICKET FENCE

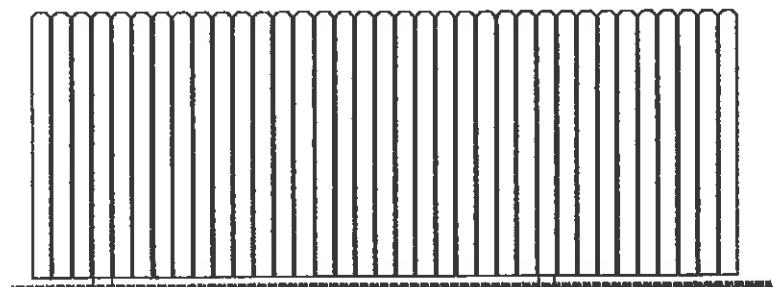
*Illustration 2.9.3 - Privacy Fence Types*



CONVEX PRIVACY FENCE



FRAMED LATTICE FENCE



SOLID BOARD FENCE

## APPENDIX B

### DEFINITIONS USED IN THIS BOOK

Terms defined in the Declaration and not otherwise defined in this document have the meanings given to them in the declaration.

BOARD RAIL FENCE	A fence consisting of horizontal rails of flat sawed lumber nailed to the flat sides of rectangular or square vertical posts. There are normally three horizontal rails with equal spacing. The fence is typically 48 inches high with the three horizontal rails spaced equally apart.
BUILDABLE AREA LIMITS	Area of a site where building is permitted as defined by the setback lines.
CLEARING	Complete removal of natural vegetation from the area of construction.
COMMON AREA/OPEN SPACE	Areas within the community, other than those owned by individual homeowners, that are held in common by homeowners associations and maintained by these associations.
CONTEMPORARY STYLE	For the purpose of the guidelines, Contemporary style shall be defined as that which does not use an architectural vocabulary of details or elements copies from any pre-twentieth century historical period. Twentieth century historical styles such as Craftsman, Prairie, Modernistic and International are considered to be Contemporary.
CORNICE	Exterior trim of a structure at the eave; usually consists of bed molding, soffit, fascia and crown molding.
CORNER BOARDS	Vertical boards installed on the corners of wood sided homes to cover the ends of the siding.
COTTAGES	Same as "patio home" under the Declaration
DIMENSIONAL COMPOSITION SHINGLE	Asphaltic/fiberglass roofing material manufactured in laminated layers to achieve the depth and dimension variation that simulates the look of wood shingles or slate. The material is imbedded with the color grain to provide a variety of roofing color schemes.
DORMER WINDOW	Vertical window which projects from a sloping roof, placed in a small gabled enclosure projection.
EASEMENT	A right afforded a person to make limited use of another person's real property such as a right-of-way through a lot established for utilities access.
EAVE	The lower edge of a sloping roof which projects beyond the wall.
ELEVATION	Exterior face of a structure: front, side, and rear.

EVERGREEN SHRUBS	Shrubs which do not shed their leaf growth seasonally.
EYEBROW WINDOW	A low dormer on the slope of a roof formed by the roofing material being carried over the opening in a wave line.
FACADE	Exterior face in a building which is the formal front.
FINISH	A coating applied to a material on the job site, such as paint or stain.
FINISHED FLOOR AREA	Amount of space within a structure that is conditioned (heated/cooled) area and in which all construction is complete to a finished state.
FLOOR PLAN	A drawing showing the layout of the enclosing walls of a structure, its doors and windows, and the arrangements of the interior spaces as viewed from above.
FOUNDATION (FOOTERS)	The structural base whereby all of the load from the building is transmitted to the ground. The foundation wall is usually constructed out of masonry materials. The footer runs under the foundation wall and is typically concrete.
GABLE	The vertical triangular portion of the end of a structure having a double-sloping roof from the level of the eave to the ridge of the roof.
OBNOXIOUS OR POISONOUS	Natural vegetative growth with a wild un-kept appearance
VEGETATION	Such as uncontrolled vines, briars, poison ivy, poison oak, poison sumac.
PEDIMENT	A gabled element used over entrances primarily.
PICKET FENCE	A fence consisting of closely spaced vertical slats attached to horizontal rails and intermediate posts.
PILASTER	A non structural rectangular or semicircular column applied to the wall simulating supports for a decorative pediment or arch above (usually used at main entrances).
PRE-FINISHED MATERIAL	Material that has received a factory finish and is ready to install upon delivery to the construction site (i.e. roofing shingles).
PROPERTY LINE	Legal limits of property, property edge.
RAKE BOARD	A board or molding along the sloping edge of a gable which conceals the rafter.
RIDGE VENT	A linear ventilating cap installed along the ridge of a gabled roof.
RIGHT-OF-WAY LINE	A strip of land (ground surface, underground or above ground) which has been granted by deed or easement for the construction or maintenance of a roadway. Governmental signs and U. S. postal collection boxes are allowed in this area.

SCALE	(1) A system of proportions used in architectural drawings so that the actual size of an item to be drawn can be reduced to a size small enough to fit on a sheet of paper (i.e. $1/4" = 1'-0"$ (1/4 of an inch on the drawing represents 1 foot of actual size of the item being drawn). (2) Term used to relate to the proportional balance of all elements of a building.
SCREENING	Shielding method using either natural vegetation or a structure to conceal an unsightly condition from view, or provide protection from noise or wind exposure.
SETBACK AREA	Required distance inside all property lines which cannot be built in as determined by County zoning ordinances, subdivision plat, these design standards or the Restrictive Covenants of the neighborhood.
SITE PLAN	A plan of a lot indicating property lines, the accurate location and size of structures shown with dimensions to property lines.
KID	A small platform laid on the ground that serves as the foundation for a moveable accessory building.
SLOPE (ROOF)	The indication of the steepness of a roof measured by the amount of rise in inches per foot of horizontal length.
SOFFIT	The exposed undersurface of any overhead component of a building (i.e. eave).
STORY (ex.: 2½ STORY HOUSE)	A floor area on one level, enclosed by the house walls (ex: first floor = first story). A ½ story refers to a floor area enclosed within the roof area, above the top of the house walls (attic areas both finished and unfinished).
SYNTHETIC STUCCO	A pre-manufactured exterior finish material resembling cement stucco with smooth or textured surfaces which can be applied over the exterior sheathing of a building.
TOPOGRAPHY	A description of the vertical variations land (flat sloping, hills, valleys, etc.).
TRADITIONAL STYLE	Architectural styles copied or derived from those historical styles characteristic of older southern cities. These styles include Georgian, Adam, Greek Revival, and Colonial Revival.
TRANSITIONAL STYLE	For the purposes of these Guidelines, Transitional architecture includes houses of mixed historical styles, and houses of mixed historical and contemporary styles.
UNFINISHED MATERIAL	Material that does not receive a special coating to alter the natural appearance but may be treated with a preservative to prevent decay (i.e. salt treated lumber).
VEGETATION	Plant growth (trees, shrubs, grass, etc.) either in its natural setting or a

	transplanted location.
<b>VILLA</b>	Same as a "Duplex" under the Declaration.
<b>VOCABULARY (DESIGN)</b>	Composition of architectural elements which are assembled together on a house.
<b>WINDOW AND DOOR TRIM</b>	Board or molding installed around perimeter of a window or a door to conceal the joint.
<b>WINDOW SASH</b>	The framework of a window that holds the glass.

## **APPENDIX C**

### **APPLICATION FORMS**

#### **CONTAINS:**

**New Home Application / Property Information Sheet**

**Exterior Color Approval Application**

**Stakeout Review Request**

**Property Addition/Improvement Information Sheet**

**Application for Home Improvement Approval**

**Private Golf Cart Use Application and Agreement**

**Request for Final Compliance Inspection**

**Crossroads Farm****Architectural Committee**

Architectural Review Managed by:

Blue Ridge Architects, 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801

Phone (540) 437-1228

**New Home Application/Property Information Sheet**

Section No.: \_\_\_\_\_ Lot No.: \_\_\_\_\_ Property Address: \_\_\_\_\_

Owner: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone Numbers: Office: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile/Beeper: \_\_\_\_\_

Builder: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone Numbers: Office: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile/Beeper: \_\_\_\_\_

Class A License No.: \_\_\_\_\_

**ITEMS TO BE SUBMITTED FOR REVIEW: (Include Manufacturer Name and Materials of Construction)**

Plan Name or Number \_\_\_\_\_ Heated SF \_\_\_\_\_ Roof Pitch \_\_\_\_\_/12

Material \_\_\_\_\_ Color \_\_\_\_\_ Manufacturer \_\_\_\_\_

Brick\*

\_\_\_\_\_

Roof\*

\_\_\_\_\_

Siding\*

\_\_\_\_\_

Trim\*

\_\_\_\_\_

Shutter\*

\_\_\_\_\_

Doors\*

\_\_\_\_\_

Driveway

\_\_\_\_\_

Exterior Lighting

\_\_\_\_\_

Walkways

\_\_\_\_\_

# of HP Units/tanks \_\_\_\_\_ Attach screening materials (See Sect. 2.8.1 of  
Design Standards)

\* Sample or color chip may be required

All submittals shall include: Engineered site plan showing location of structure, setbacks, walks, drives, clearing limits and construction drawings showing all four elevations; materials, floor plan, and landscaping plan.

Application:  Approved as Submitted  Not Approved  
 Approved with Limiting Conditions (see memo)  Preliminary Review

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Approval is limited to design criteria established by the Architectural Control Committee and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by Crossroads Farm Covenants, contract, and by Rockingham County. Approval of siting does not necessarily imply compliance with county zoning requirements.

**Revised 01/14**

# Crossroads Farm

# Architectural Committee

Architectural Review Managed by:

Blue Ridge Architects, 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801.

Phone (540) 437-1228

## Application for Exterior Color Approval

Property Address: \_\_\_\_\_

Section No.: \_\_\_\_\_

Lot No.: \_\_\_\_\_

Owner : \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone No.: Office: Fax: Mobile/Beeper:

Builder: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone No.: Office: Fax: Mobile/Beeper:

Class A License No.: \_\_\_\_\_

Paint or Stain Information (Attach Sample)      Manufacturer      Color Name/ Number

Siding: \_\_\_\_\_

Soffit, Rake & Cornerboards: \_\_\_\_\_

Window and Door Trim: \_\_\_\_\_

Window Sashes: \_\_\_\_\_

Shutters: \_\_\_\_\_

Front Door: \_\_\_\_\_

Garage Door: \_\_\_\_\_

All Other Doors: \_\_\_\_\_

Roof: Warranty: \_\_\_\_\_

Application:

Approved as submitted.  
 Not Approved

Approved with changes indicated.  
 Preliminary Review -(Additional information required)

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

(for Crossroads Farm POA Architectural Committee)

*Approval is limited to design criteria established by the Crossroads Farm Architectural Committee and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by Crossroads Farm Covenants or Rockingham County. Site Plan Approval does not necessarily imply compliance with county zoning requirement.*

Revised 01/14

# Crossroads Farm Architectural Committee

Architectural Review Managed by:

Blue Ridge Architects, 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801

Phone (540) 437-1228

## Stakeout Review Request

Property Address: \_\_\_\_\_

Section No.: \_\_\_\_\_ Lot No.: \_\_\_\_\_

Owner: \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone No. Office: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile /Beeper: \_\_\_\_\_

Builder: \_\_\_\_\_

Mailing Address \_\_\_\_\_

Phone No. Office: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile/Beeper: \_\_\_\_\_

Class A License No.: \_\_\_\_\_

Date of Application \_\_\_\_\_

Date Lot will Be Staked (8 a.m.) \_\_\_\_\_

Lot must be staked at the following points: **Do Not Clear Without Written Stakeout Approval!**

1. All corners of the lot.
2. All corners of the house.
3. Driveway and parking areas.
4. Trees to be removed beyond the house, driveway and parking areas. Mark clearing limits.

**Call (540) 437-1228 to schedule a stakeout review.**

---

Application:  Approved as Submitted  Not Approved  
 Approved with Limiting Conditions (see memo)  Preliminary Review

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(for the Crossroads Farm POA Architectural Committee)

Approval is limited to design criteria established by the Crossroads Farm Architectural Committee and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by Crossroads Farm Covenants or Rockingham County. Site Plan Approval does not necessarily imply compliance with county zoning requirements.

**\*Must include Grading/Site Plan which includes attention to the drainage easements with a storm water management plan. Revised 01/14**

# Crossroads Farm

# Architectural Committee

Architectural Review Managed by:

Blue Ridge Architects, 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801

Phone (540) 437-1228

## PROPERTY ADDITION/IMPROVEMENT APPLICATION INFORMATION SHEET

Please refer to your original NEW HOME APPLICATION FOR MATERIALS/COLORS

Section: \_\_\_\_\_ Lot No.: \_\_\_\_\_ Address: \_\_\_\_\_

Owner: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone No.: Office: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile: \_\_\_\_\_

Builder: \_\_\_\_\_

Class A License No.: \_\_\_\_\_

Builder Address: \_\_\_\_\_

Phone No.: Office: \_\_\_\_\_ Fax: \_\_\_\_\_ Mobile: \_\_\_\_\_

ITEMS TO BE SUBMITTED FOR REVIEW: (Include Manufacturer Name and Materials of Construction)

Roof Pitch	Material	Color	Heated SF	Manufacturer
Brick*	_____	_____	_____	_____
Roof*	_____	_____	_____	_____
Siding*	_____	_____	_____	_____
Trim*	_____	_____	_____	_____
Shutter*	_____	_____	_____	_____
Doors*	_____	_____	_____	_____
Walkways	_____	_____	_____	_____

\*Sample or color chip may be required.

ALL submittals shall include: Engineered Site plan showing location of structure, setbacks, walks, exterior lighting, construction drawings showing elevations; materials, floor plan, and landscaping plan for screening where applicable. Building permit from Rockingham County must be obtained when required and a copy sent to the POA Manager

Application:  Approved as submitted  Not Approved  
 Approved with limiting conditions  Preliminary review

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

For the Crossroads Farm POA Architectural Committee)

Approval is limited to design criteria established by the ACC and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by Crossroads Farm Covenants, contract and by Rockingham County. Approval of siting does not necessarily imply compliance with county zoning requirements.

Revised 01/14

# Crossroads Farm

Developed by: Crossroads Farm Dev., Managed by CRF POA, Penn Laird, VA 22846 Phone (540) 433-2106

Architectural Review Managed by:

Blue Ridge Architects, 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801  
1228

Phone (540) 437-

## APPLICATION FOR HOME IMPROVEMENT APPROVAL

Neighborhood and Lot: \_\_\_\_\_

Property Address: \_\_\_\_\_

Property Owner \_\_\_\_\_

Mailing Address \_\_\_\_\_

Home: \_\_\_\_\_ Fax: \_\_\_\_\_ Work: \_\_\_\_\_

Builder: \_\_\_\_\_

Class A License No.: \_\_\_\_\_

Builder Address: \_\_\_\_\_

Construction Schedule: Begin \_\_\_\_\_ End \_\_\_\_\_

### Attachments

1. A survey or other drawing showing the house and the proposed improvement on lot, with dimensions to the property lines.
2. Floor plans and scale drawings of all elevations (front, rear and side views) of the proposed improvement with dimensions and roof pitches given and exterior materials and finishes identified. If the improvement is an addition, provide elevations of the house with the addition.

### Office Use Only

Application:  Approved as submitted.  Not Approved.  
 Approved with changes indicated.  Preliminary Review  
(Additional information required)

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
(for the Crossroads Farm Architectural Board)

*Approval is limited to design criteria established by the Crossroad Farm Architectural Board and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by the Crossroads Farm Covenants or Rockingham County. Approval of siting does not necessarily imply compliance with county zoning requirements.*

Revised 01/14

Please complete and attach the

**PROPERTY ADDITION/IMPROVEMENT APPLICATION  
INFORMATION SHEET**

**CROSSROADS FARM PROPERTY OWNERS ASSOCIATION  
PRIVATE GOLF CART USE APPLICATION AND AGREEMENT**

*Submit this form with proof of insurance and copy of valid driver's license to  
Crossroads Farm POA, 4761 Spotswood Trail, Penn Laird, VA 22846.*

OWNER NAME: \_\_\_\_\_  
First \_\_\_\_\_ Middle \_\_\_\_\_ Last \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Daytime PHONE: ( \_\_\_\_\_ ) \_\_\_\_\_

**CERTIFICATE OF INSURANCE - HOLDER MUST ACCOMPANY THIS FORM WITH  
PROOF OF INSURANCE WITH GENERAL LIABILITY COVERAGE OF NO LESS THAN  
\$300,000. BY SIGNATURE, OWNER AGREES TO THE TERMS AND CONDITIONS  
STATED BELOW-PLEASE REVIEW THEM CAREFULLY!**

Cart may not be stored or left unattended on golf course or common areas of development. Permit is limited to daylight hours only. Owner must maintain general liability insurance, covering ownership, use and operation of the cart. The use permitted under this agreement is non-transferable. PLEASE REFER TO 10.21 IN COVENANTS AND RESTRICTIONS AND THE "RULES AND REGULATIONS-TRAFFIC AND MOTOR VEHICLES" LOCATED IN YOUR POA PACKET. If cart will be used for golfing at Lakeview Golf Course, this agreement becomes effective only after cart has been registered and fees paid with Lakeview Golf Course. Operator must observe all course cart rules while operating their cart on Association property. You may contact Lakeview Golf Course at 434-8937 for details about the use of your cart on their golf course.

---

Owner

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Date

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Owner

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Date

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POA Manager

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Approval Date

\*POA Decal is to be affixed to the rear of the golf cart in a manner as to be visible from the rear of the vehicle. Insurance information to be renewed and submitted to the association annually.

**Revised 01/14**

# Crossroads Farm

# Architectural Committee

Architectural Review Managed by:

Blue Ridge Architects, 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801

Phone (540) 437-1228

## Request for Final Compliance Inspection

Property Address: \_\_\_\_\_

Section No.: \_\_\_\_\_ Lot No.: \_\_\_\_\_

Owner: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone No.: Office: Fax: Mobile/Beeper: \_\_\_\_\_

Builder: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Phone No.: Office: Fax: Mobile/Beeper: \_\_\_\_\_

Class A License No.: \_\_\_\_\_ Date of Application \_\_\_\_\_

Date Lot Will Be Ready For Inspection (8 a.m.) Closing Date \_\_\_\_\_

Please Send Certificate of Compliance To \_\_\_\_\_

Address: \_\_\_\_\_

Telephone No. \_\_\_\_\_ Fax No. \_\_\_\_\_

**DO NOT WRITE BELOW:** Y/N If NO, LIST DEFECTS:

Plans Approved:

Colors Approved:

Construction Complete:

Grading & Paving Complete:

Landscape/Screening Complete:

Complies With Standards:

Lighting:

\_\_\_\_\_

Reviewer: \_\_\_\_\_  
(for Crossroads Farm POA Architectural Committee)

Date: \_\_\_\_\_

Approval is limited to design criteria established by the Crossroads Farm Architectural Committee and should not be interpreted as approval of any variation from restrictions or conditions imposed on the property owner by The Crossroads Farm Covenants or Rockingham County.

Approval of site does not necessarily imply compliance with county zoning requirements. **Revised 01/14**

# ADDENDUM 1

## **PLEASE ENSURE THAT YOUR BUILDER HAS A COPY OF THESE REQUIREMENTS**

THE PRIVATE ENTRANCE PERMIT MUST BE COMPLETED AND BEEN APPROVED BY THE CRFPOA DESIGNATED AGENT PRIOR TO COMMENCING CONSTRUCTION

### **Pre Construction Activities**

- Completion of Private Entrance Permit (see attached permit)
- Installation of Culvert (Concrete)
- Drive to be cut to final grade
- Installation of silt fence

### **Planning consideration and Implementation of entrance:**

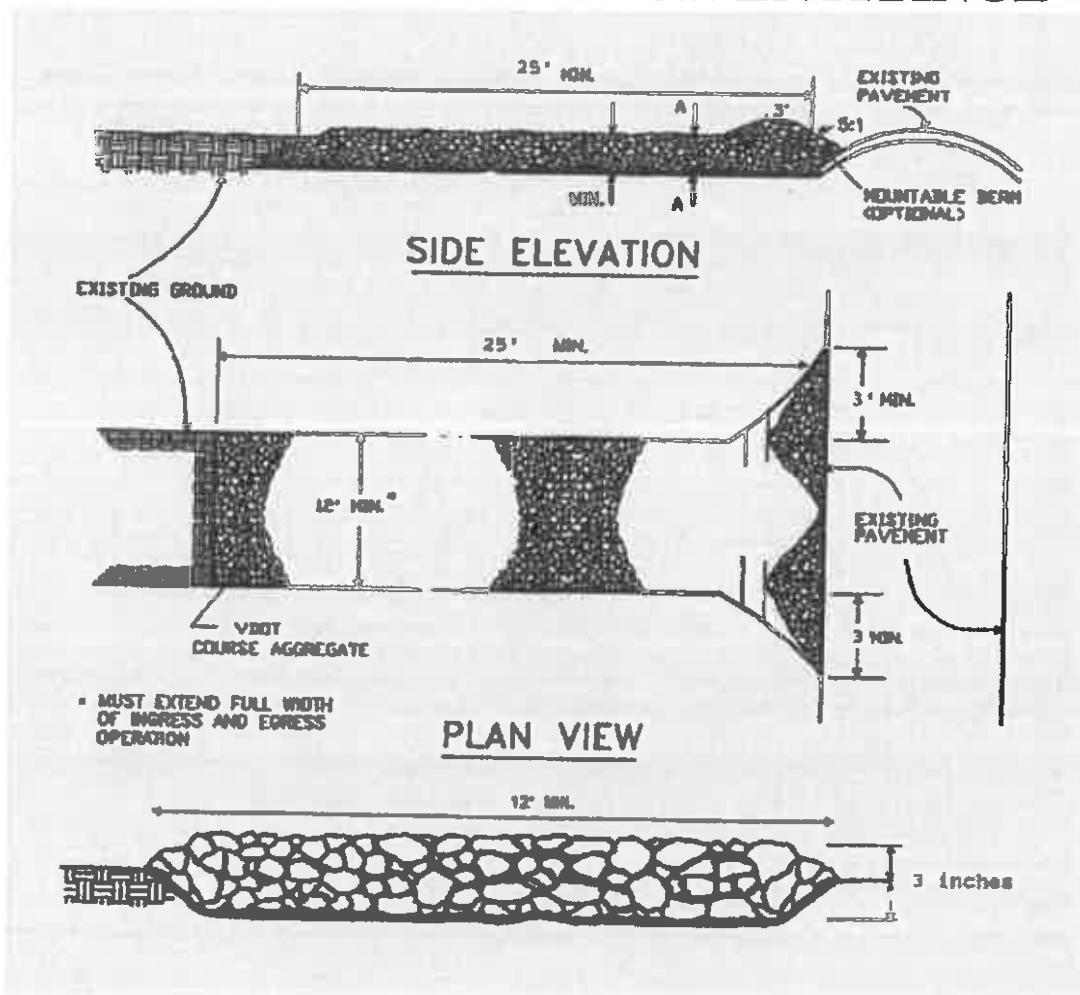
CRFPOA requires that provision be made to minimize the transport of sediment by vehicular traffic onto paved surfaces. Construction/driveway entrance must provide an area where a significant amount of mud can be removed from construction vehicle tires.

An aggregate layer of 2\*1 should be used that is at least 3 inches thick and MUST extend the full width of the vehicular ingress and egress area and have a minimum of 12 foot width. The length of the stone base must be a minimum of 25 feet in length.

(See attached illustration)

**THE ENTRANCE MUST BE MAINTAINED AT ALL TIMES TO ENSURE SEDIMENT CONTROL.**

# STONE CONSTRUCTION ENTRANCE



## Silt Fence:

The purpose of the silt fence is to intercept small amounts of sediment from disturbed areas during construction operations in order to prevent sediment from leaving the site.

Silt fence must be used below disturbed area where erosion would occur in the form of sheet and rill erosion.

## **Installation:**

**The height of a silt fence shall be a minimum of 16 inches above the original ground surface and shall not exceed 34 inches above ground elevation.**

**The filter fabric shall be purchased in a continuous role cut to the length of the barrier to avoid the use of joints. When joints are unavoidable, filter cloth shall be spliced together only at a support post, with a minimum of 6 inch overlap, and securely sealed.**

**A trench shall be excavated approximately 4 inches wide and 4 inches deep on the upslope side of the measure.**

**Posts for the fabric should be placed at a maximum 6 feet apart. The filter fabric shall be fastened securely to the upslope side of the posts using one inch long heavy duty wire staples or tie wire and eight inches of the fabric should extend into the trench.**

**The 4 inch by 4 inch trench shall be backfilled and the soil compacted over the filter fabric.**

**The silt fence shall be removed when they have served their purpose, but no before the upslope area has been stabilized.**

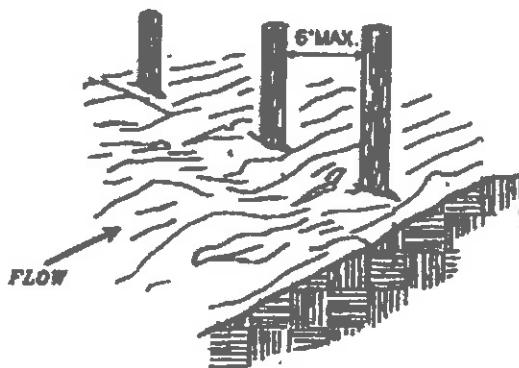
**Silt fence SHALL be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.**

**Sediment deposits should be removed after each storm event.**

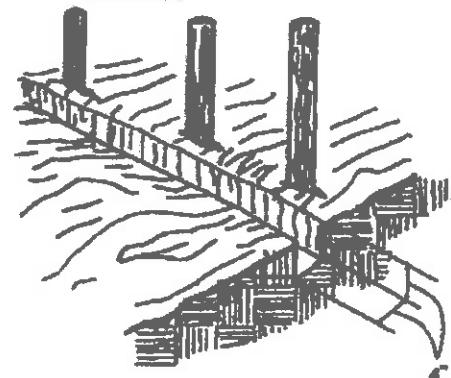
**(See illustration marked plate 3.05-2)**

## CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)

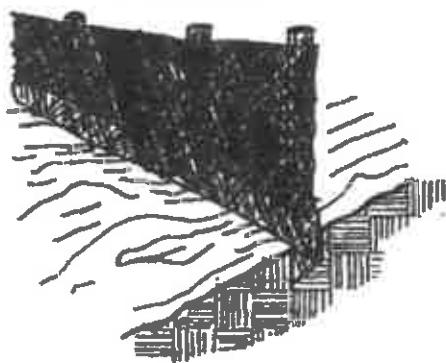
**1. SET THE STAKES.**



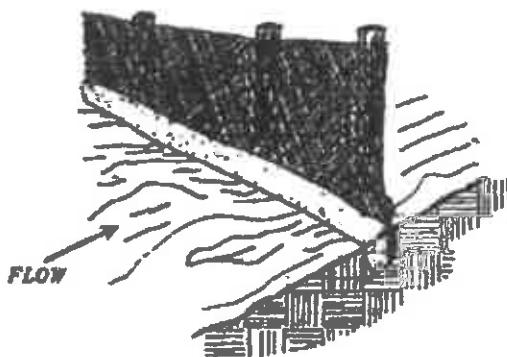
**2. EXCAVATE A 4"X 4" TRENCH  
UPSLOPE ALONG THE LINE OF  
STAKES**



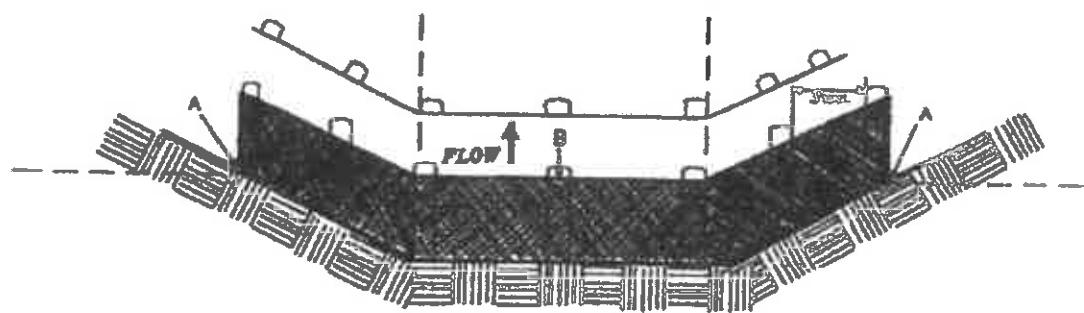
**3. STAPLE FILTER MATERIAL  
TO STAKES AND EXTEND  
IT INTO THE TRENCH.**



**4. BACKFILL AND COMPACT  
THE EXCAVATED SOIL**



**SHEET FLOW INSTALLATION  
(PERSPECTIVE VIEW)**



POINTS A SHOULD BE HIGHER THAN POINT B.

**DRAINAGEWAY INSTALLATION  
(FRONT ELEVATION)**

Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant

Plate 3.05-2

**Crossroads Farm  
Private Entrance Permit**

Street \_\_\_\_\_, Rockingham County Permit No. \_\_\_\_\_

Permission is hereby given to:

Name \_\_\_\_\_ Phone # \_\_\_\_\_

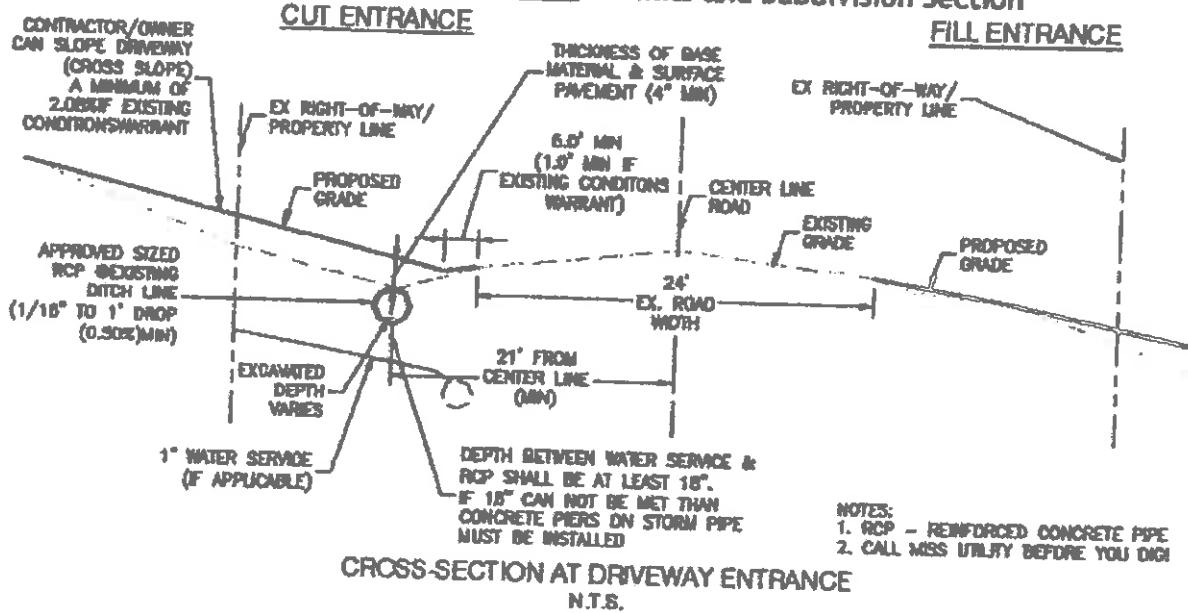
Address/Lot#: \_\_\_\_\_

To construct a private entrance across "The Crossroads Farm Property Owners Association" (CRFPOA) Right of Way on \_\_\_\_\_ (Street) between \_\_\_\_\_ And \_\_\_\_\_, as sketched and described below or attached. All work to be completed in a manner satisfactory to CRFPOA agent within \_\_\_\_\_ days from the date of this permit, and if not so completed, CRFPOA may, in its discretion, complete the work at the expense of the applicant. CRFPOA reserves full control over the subject matter of this permit.

DATE: \_\_\_\_\_ SIGN Off: \_\_\_\_\_

**EXPIRES:** \_\_\_\_\_

**Permits and Subdivision Section**



3.FES\_1 End Section

**Swale Ditch Entrance:**

Only/With \_\_\_\_\_ feet of \_\_\_\_\_ RCP Pipe required.  
To be installed by \_\_\_\_\_, New/Existing entrance to serve \_\_\_\_\_

Located in the \_\_\_\_\_ side of \_\_\_\_\_  
Signed: \_\_\_\_\_

Applicant

Date: \_\_\_\_\_

Additional Requirements: \_\_\_\_\_

Rockingham County  
Tax Parcel \_\_\_\_\_

LICENSE FOR FENCE IN COMMON AREA  
CROSSROADS FARM SUBDIVISION  
LOT \_\_\_\_\_, SECTION \_\_\_\_\_

This License is granted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by CROSSROADS FARM PROPERTY OWNERS' ASSOCIATION, INC., to be indexed as Grantor ("POA") to \_\_\_\_\_ to be indexed as Grantee (with his and/or her successors, "Licensee").

Licensee, as the owner of Lot \_\_\_\_\_, Section \_\_\_\_\_, Crossroads Farm Subdivision (the "Lot"), has asked the POA for permission to install a fence along the boundary of the Common Area in the location shown on Exhibit A. The POA grants to Licensee a license to install, maintain, repair and replace such fence, upon and subject to the following conditions and terms:

1. The fence must be (a) aluminum picket style, 60" high x 72" wide sections., 2" square posts with standard caps, color black, (b) style of Essex, residential grade, as manufactured by SPECRAIL or equivalent approved by POA, and (c) installed in accordance with manufacturer recommendations and local standards.

2. The fence may be installed only along the perimeter boundary of the Common Area in the location shown on Exhibit A, and may not cross the Common Area, which must remain open and accessible to other owners in accordance with the Declaration of Land Use Restrictions for Crossroads Farm Subdivision, as amended. Licensee shall promptly repair, at Licensee's expense, any damage to the Common Area or any other property due to the fence or its installation, maintenance or repair.

3. Licensee shall keep and maintain the fence in good and attractive condition, and shall make all repairs which are necessary or are requested by the POA. Licensee shall be solely responsible for all costs and expenses attributable to installation, maintenance, repair and removal of the fence, and the POA shall have no liability or responsibility with regard to such fence.

4. Licensee shall be responsible for mowing and otherwise maintaining the Common Area situated between the Lot and the fence installed by Licensee, at Licensee's expense.

5. Licensee agrees to indemnify and hold harmless the POA, its officers, directors, employees, managing agents and agents from and against all claims, damages, liabilities, costs and expenses of every kind and character arising out of or related to this License, including but not limited to (a) costs for its preparation and recordation, (b) costs for its release, (c) any failure of Licensee to perform Licensee's obligations under this License, (d) any personal injury, death or property damage caused in whole or in part by the fence, this License or the failure of Licensee to perform, and (e) all costs and expenses of enforcing the POA's rights or exercising the POA's remedies under this License, including without limitation reasonable attorneys' fees.

6. If Licensee fails to perform any of its obligations under this License, and such failure is not cured within ten (10) calendar days after written notice to Licensee, the POA has the right (but not the obligation) to perform such obligation, and all costs and expenses incurred by the POA to do so shall be due and payable, on demand, by Licensee to the POA as a default assessment, subject to all lien and other rights of the POA with respect to assessments under the Declaration governing Crossroads Farm Subdivision.

7. If the fence is ~~every~~ destroyed, or removed by Licensee, and a replacement is not constructed within sixty calendar days after such destruction or removal, this License shall automatically terminate. If Licensee fails to comply with Licensee's obligations under the License and such failure is not cured within ten calendar days after written notice from the POA, the POA may terminate this License by written notice to Licensee. If this License is terminated, (a) the POA may unilaterally record a statement of termination in the land records of Rockingham County, Virginia, (b) Licensee shall, at Licensee's expense, remove the fence within fourteen (14) calendar days of such termination and restore the Common Area to an attractive, safe and vegetated condition, and (c) if the fence is not removed within that Period, the POA shall have the right to remove the fence, and all costs and expenses it incurs to do so shall be due and payable on demand from Licensee, as a default assessment and subject to all lien and other rights of the POA which apply to assessments under the Declaration. Following any removal of the fence, Licensee shall restore the Common Area to a safe condition acceptable to the POA (including but not limited to the filling of any holes and the revegetation of disturbed areas, at licensee's expense).

8. This License shall run with title to the Lot, and shall be binding on and inure to the benefit of successor owners of the Lot.

9. The POA and its members may use the Common Area for any purpose permitted under the Declaration, and nothing in this License restricts such use or address.

IN WITNESS WHEREOF, the undersigned have executed and delivered this license on due authority.

CROSSROADS FARM PROPERTY  
OWNERS' ASSOCIATION, INC.

Approved by the Association Board  
of Directors on

\_\_\_\_\_, \_\_\_\_\_

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

Attest: \_\_\_\_\_

Secretary

COMMONWEALTH OF VIRGINIA

CITY/COUNTY OF \_\_\_\_\_, to-wit:

The foregoing instrument was acknowledged before me in the aforesaid jurisdiction this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by \_\_\_\_\_ as \_\_\_\_\_, on behalf of Crossroads Farm Property Owners' Association Inc.

My Commission expires: \_\_\_\_\_

\_\_\_\_\_  
Notary Public

# CROSSROADS FARM

Property Owner's Association

## "Design Standards Guidelines 2016/17"

PLEASE DIRECT SUBMISSIONS AND QUESTIONS TO:

**Crossroads Farm POA Manager**

2340 South Main Street  
Harrisonburg, VA 22801  
Betty Reese, POA Manager (bjreese@odrva.com)  
Office: 540-433-2454 ext. 1005  
Fax: 540-433-5946

or

Crossroads Plaza – ODR office  
4761 Spotswood Trail  
Penn Laird, VA 22846  
(540) 433-2106

\*All applications are located at the end of the Design Standards section of your POA packet  
Pre-Approval Comments: You may send conceptual plan of proposed house for comments.

**APPROVAL SUBMISSION STEPS IN ORDER:**

1. Entrance permit to be submitted to POA Manager
2. Application fee \$475(non-refundable) payable to: Blue Ridge Architects with 2 COMPLETE COPIES of New Home Application, 2 House plans (full sets), Highway entrance approval, and Grading/Site Plan which includes attention to the drainage easements with a storm water management plan, mailed or hand delivered to CROSSROADS FARM PROPERTY OWNERS ASSOCIATION, Attn: Betty Reese, see address above. (Entrance Permits to VALLEY ENGINEERING 540-434-6365 IS THE ENGINEERS FOR CROSSROADS FARM, there will be a processing fee charged). The information will be immediately forwarded to the ARC at Blue Ridge Architects at 126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801.
3. Make appointment with Blue Ridge Architects for stake out review prior to breaking ground or removal of any trees.
4. The plan review process takes approximately 14 working days upon receipt of plans by Blue Ridge Architects. Approval may take a month or longer depending on Blue Ridge Architect's work schedule.

AFTER ABOVE STEPS HAVE BEEN COMPLETED, Blue Ridge Architects WILL REPLY ON BEHALF OF CRFARC WITH APPROVAL STATUS AND ANY NECESSARY CHANGES OR COMMENTS.

5. A house plan approval letter is required from Blue Ridge Architects to obtain a Rockingham County Building Permit.
6. All changes made after the approval letter must be approved by Blue Ridge Architects.
7. Upon completion of construction, send Request for Final Compliance Inspection Application to Blue Ridge Architects.
8. Blue Ridge Architects will make the final inspection.
9. Designated Mailboxes available @ Lowe's called "Estate Premium Mailbox and Post". Color either **Black or Bronze, or at Home DePot called "Arden"**. Also, the POA has mailboxes and posts in stock, just call your POA Manager @ 540-433-2106 to arrange for pick up.

\*Design Standards **do not** allow sheds.

NOW, ENJOY YOUR NEW HOME! Blue Ridge Architects is acting for the Crossroads Farms ARC. Not responsible for errors or omissions. Purchaser is responsible for providing builder with all building requirements in Crossroads Farm. Crossroads Farm ARC has the right to make changes to the guidelines.

## Crossroads Farm POA approved mailbox and post

Keystone Series Deluxe Post -



Mail box can be mounted on side like pictured or on front. House number is optional.

Post or Mailbox from; Gaines Manufacturing, (858) 486-7100, [www.gainesdirect.com](http://www.gainesdirect.com)

Mailbox from Lowes; Mailbox from Gaines is acceptable, but you can purchase one from Lowes called the Arden or Estate for less.

**Generally, the boxes should be installed with the bottom of the box at a vertical height of between 41-45 inches from the road surface.**

- *Because of varying road and curb conditions and other factors, you should contact the postmaster or mailperson before setting up or replacing your mailboxes and supports*
- A mailbox with a lock must have a slot large enough to accommodate customer's daily mail volume.
- Advertising on a mailbox or the supporting post of the mailbox is prohibited.
- If you have a curbside mailbox, or a mailbox on the outside of your house, USPS regulations govern what can and can't be placed in them. Generally speaking, only mail that has been sent through the USPS may be placed in these types of receptacles. Conversely, USPS regulations do not govern what can be placed in a mail slot on your door. This means that if a local business wants to put a flyer in the mail slot, they can do so.

**Note: A receptacle for newspaper delivery by private companies may be attached to the post of a curbside mailbox used by the Postal Service if the receptacle:**

1. Does not touch the mailbox or use any part of the mailbox for support.
2. Does not interfere with the delivery of mail, obstruct the view of the mailbox flag, or present a hazard to mailperson or vehicle.
3. Does not extend beyond the front of the mailbox when the box door is closed.
4. Does not display advertising, except the publication title.

**Blue Ridge Architects**  
**126 W. Bruce Street, Suite 102, Harrisonburg, VA 22801**  
**Phone (540) 437 - 1228 or (540) 908 - 7117**

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**Fee Schedule**  
**Crossroads Farm Property Owners Association**  
**Architectural Review**

New Home Architectural Review.....	\$475.00
<i>(Includes final inspection review on site)</i>	
Stake Out Review .....	\$150.00
House Addition, porch, sun room, etc. pool and/or pool house <i>(No site visit is included in this service)</i> .....	\$150.00
Sheds, decks, pavements, fences, play-structures, gazebos, etc.7: <i>(No site visit is included in this service)</i> .....	\$100.00
Landscape/Hardscape and Accessories; arbors, site furniture, small ponds, etc.: <i>(No site visit is included in this service)</i> .....	\$ 75.00
Equipment: satellite dish, HVAC, Generators, Lights, minor changes on the house <i>(shingles, color, siding, windows, doors, awnings, shutter, etc.)</i> <i>(No site visit is included in this service)</i> .....	\$ 50.00
HOA Disclosure packet	
Update Disclosure Packet .....	\$ 75.00
New Packet/Replacement POA Packet .....	\$125.00

Fees include all services related to each task including phone, fax, and normal mailing expenses connected with these services.

Fees will be paid by each applicant directly, at the time of application.

Extended representation of the Association beyond these services, including dispute resolution between the Association and any applicant, or between an applicant and any other member of the Association, are not included in this proposal. We will provide extended representation upon request, at the following billing rate:

Blue Ridge Architects:                   \$150.00 per hour

## Crossroads Farm Community Association

### Complaint Procedure

Whereas, Virginia Code Section 54.1-2348 (Common Interest Community Board; membership; meetings; quorum) of the Code of Virginia (1950, as amended), created the Common Interest Community Board ("CICB") to take the place of the Virginia Real Estate board with respect to the administration of community associations, the licensing and certification of management agents providing services thereto, etc.; and,

Whereas, Virginia Code Section 55-530E (Powers of the Board; Common Interest Community Ombudsman; complaints) of the Code of Virginia (1950, as amended), tasked the CICB to establish by regulation a requirement that each association shall establish reasonable procedures for the resolution of written complaints from the members of the association; and,

#### Complaint

- A. Any unit owner, tenant, or third party may submit a written complaint (on the form attached here to as Exhibit A, to the Board of Directors for its attention and/or action.

The form shall be mailed to the following address:

Crossroads Farm Community Manager  
Old Dominion Realty  
4761 Spotswood Trail  
Penn Laird, VA 22846

- B. The complaint shall be submitted to the Board of Directors for review and action as the Board may deem appropriate.
- C. The Board of Directors shall then take appropriate action, such as directing that the complaining party be afforded a hearing before the Board, or that the substance of the complaint receive some other type of response as may be appropriate to the content of the complaint and the circumstances surrounding same.

Crossroads Farm Homeowners Association  
2340 South Main Street, Harrisonburg, VA 22801  
540-433-2454/Old Dominion Realty, POA Management Company

Pursuant to Chapter 29 of Title 55 of the Code of Virginia, the Board of Directors (Board) of the Crossroads Farm Homeowners Association has established this complaint form for use by persons who wish to file written complaints with the Association regarding the action, inaction or decision by the governing board, managing agent or association inconsistent with applicable laws and regulations.

Legibly describe the complaint in the area provided below, as well as the requested action or resolution of the issues described in the complaint. Please include references to the specific facts and circumstances at issue and the provisions of Virginia laws and regulations that support the complaint. If there is insufficient space, please attach a separate sheet of paper of this complaint form. Also, attach any supporting documents, correspondence and other materials related to the complaint.

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Sign, date and print your name and address below and submit this completed form to the Association at the address listed above.

---

Printed Name

---

Signature

---

Date

---

Mailing Address

---

Lot/Unit Address

---

E-mail Address

---

Phone Number

Contact Preference

Phone  
 E-mail  
 Other

If, after the Board's consideration and review of the complaint, the Board issues a final decision adverse to the complaint, you have the right to file a notice of final adverse decision with the Common Interest Community Board (CICB) in accordance with the regulations promulgated by the CICB. The notice shall be filed within 30 days of the date of the final adverse decision, shall be in writing on forms provided by the Office of the Common Interest Community Ombudsman, shall include copies of any supporting documents, correspondence and other materials related to the decision, and shall be accompanied by a \$25 filing fee. The Ombudsman may be contacted at:

Office of the Common Interest Community Ombudsman  
Department of Professional and Occupational Regulation  
9960 Mayland Drive, Suite 400  
Richmond, VA 23233  
804-367-2941  
[CICombudsman@dpor.virginia.gov](mailto:CICombudsman@dpor.virginia.gov)

**CROSSROADS FARM PROPERTY OWNERS ASSOCIATION  
PRIVATE GOLF CART USE APPLICATION AND AGREEMENT**

*Submit this form with proof of insurance and copy of valid driver's license to  
Crossroads Farm POA, 4761 Spotswood Trail, Penn Laird, VA 22846.*

OWNER NAME: \_\_\_\_\_  
First \_\_\_\_\_ Middle \_\_\_\_\_ Last \_\_\_\_\_

ADDRESS: \_\_\_\_\_  
Street \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Daytime PHONE: ( \_\_\_\_\_ ) \_\_\_\_\_

**CERTIFICATE OF INSURANCE - HOLDER MUST ACCOMPANY THIS FORM WITH  
PROOF OF INSURANCE WITH GENERAL LIABILITY COVERAGE OF NO LESS THAN  
\$300,000. BY SIGNATURE, OWNER AGREES TO THE TERMS AND CONDITIONS  
STATED BELOW-PLEASE REVIEW THEM CAREFULLY!**

Cart may not be stored or left unattended on golf course or common areas of development. Permit is limited to daylight hours only. Owner must maintain general liability insurance, covering ownership, use and operation of the cart. The use permitted under this agreement is non-transferable. PLEASE REFER TO 10.21 IN COVENANTS AND RESTRICTIONS AND THE "RULES AND REGULATIONS-TRAFFIC AND MOTOR VEHICLES" LOCATED IN YOUR POA PACKET. If cart will be used for golfing at Lakeview Golf Course, this agreement becomes effective only after cart has been registered and fees paid with Lakeview Golf Course. Operator must observe all course cart rules while operating their cart on Association property. You may contact Lakeview Golf Course at 434-8937 for details about the use of your cart on their golf course.

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
Owner

\_\_\_\_\_  
Date

\_\_\_\_\_  
POA Manager

\_\_\_\_\_  
Approval Date

\*POA Decal is to be affixed to the rear of the golf cart in a manner as to be visible from the rear of the vehicle. Insurance information to be renewed and submitted to the association annually.

Revised 01/14

**CROSSROADS FARM  
PROPERTY OWNERS ASSOCIATION**

**ANNUAL MEETING MINUTES  
October 22, 2015 at 7:00 p.m.**

**Location:** Massanutten Presbyterian Church, Penn Laird, VA 22846

**Annual Meeting Called to Order:** by Ron Dunham 7:12 PM.

**Proof of Notice:** Association Manager, Betty Reese

**Quorum:** Quorum to vote has been met, need 74 - have 86, Betty Reese

**Board Members Present:** Ron Dunham, Jack Reich, Karl Schaeffer, Wayne Beaman, Mike Ruckman and Peggy Rapp. Management present: Betty Reese, Mgr. and Suzanne Riddleberger - accountant

**Previous Minutes:** Ron Dunham briefed the minutes for the 2014 Annual Meeting. The minutes were reviewed. A motion to accept the 2014 Minutes as written by Jeanie Dunham, seconded by Beth Schaeffer. Motion passed to accept minutes as written.

**PRESIDENT'S REPORT:** Ron Dunham thanked everyone for attending. Ron shared a verbal report, general information on 2015 BOD history. Ron also announced that there are new owners of the development and introduced one of the partner's Ted Budd.

**TREASURER'S REPORT:** Jack Reich shared report, reviewed budget and went over the balance sheet. Explained interest earned and why they were low, because rates that are projected to earn are very low and have dropped extensively. POA can only use "safe" investments and are pretty much limited to C.D.'s. The POA does pay taxes on the interest earned for C.D.'s and savings. Landscaping, management and snow removal are the largest expenses. Management Company gets \$10 per lot per month to manage. The Amenities and Road reserves are on budget.

**MANAGEMENT OFFICER'S REPORT:** Betty Reese

See Attached report

**SLATE OF OFFICERS/VOTE:**

Ballots were handed out by POA Manager per number of lots/shares owned. No nominations were presented verbally from the floor. The ballots were tallied by Member Nita Gibson and Suzanne Riddleberger, POA accountant. The ballot total was that all current board members remain for the 2015/16 year. They are; Ron Dunham, Jack Reich, Karl Schaffer, Wayne Beaman, Mike Ruckman, Peggy Rapp and Andrew Forward. There were a few write ins; Ted Budd/8, Bill Smith/4, Bob Thall/1, Becky Ruckman/1, Charlie Ammons/1, Nita Gibson/1.

**OLD BUSINESS:** None

## **NEW BUSINESS/Discussion:**

**Lakeview Golf Land Sale** – Several members of the board have talked with Lakeview golf and their plans will not directly affect CRF. Their plans are land not adjacent to CRF. Lakeview has a contract stating they have to keep up the mowing of the golf course for 27 more years (40 years total). They cannot sell off lots because they do not have right of way for street access.

**Street Lights** – question was asked if it would be possible to put in street lights. Most people want to keep light noise down, but all are encourage to install lamp posts.

**New Developer SVTB CR LLC/Ted Budd** – Mr. Budd shared the vision and excitement for development. They want to keep the master plan as close to initial plan as possible. Final Pavement/Coat on Streets – the plan to have the final coat done by the end of 2016 or by early 2017 as long as things roll out as planned. Not sure about starting up new infrastructure but want to get the plans started ASAP. County did not require a bond since this is a private community and the streets are not being turned over to VDOT. Questions was asked if there were any plans to purchase the golf course land for sale and the developers said not at this time and most likely Not. SVTB CR LLC also purchased the commercial lots at the front entrance. Please feel free to share with them any ideas for the future development of that area. It is currently zoned R5, would reconsider rezoning. They plan to keep that area grass cut.

**Culverts** – With the large amount of rainfall with a few storms this summer a few of the drainage ditches and culverts over flowed. A couple of residents had water in basements and some mulching washed away in spots. Questions were raised as to who takes care of the drainage infrastructure, the owner or the POA. The board said they would inspect them and look into what future plans we need to make also to see if there were blockages. Once inspected the plans would be reviewed and if work was necessary it would be looked at and budgeted.

**Social Committee** – Peggy Rapp shared with all about the Fall Gathering coming up and the can food drive, for November 20<sup>th</sup>. Gathering at the Schaeffer's residence, 391 Claremont Avenue.

**POA Asset Liability** – Maybe next year add the asset liability from county tax records to annual financial report.

The Meeting was adjourned by a Ron Dunham at 8:28 p.m.

## NOMINATIONS FOR CROSSROADS FARM BOARD OF DIRECTORS 2015-2016

### ***RON DUNHAM - President***

Ron is owner and operator of Virginia Golf Cars, Inc., with an office in Harrisonburg and has been in this business for 22 years. Prior to this he owned and operated Dunham Alternator Company, selling emergency electrical generation equipment for 23 years. Ron grew up in Missouri and has been a resident of Harrisonburg for 42 years. Ron and Jeanie have been married 50 years and have 2 grown sons, Travis and family in Richmond, VA, and Chad and family in Harrisonburg. Chad is in the golf car business with Ron.

### ***JACK D. REICH - Treasurer***

Jack recently retired as President & CEO of RMC, Inc. RMC consists of three divisions; Rockingham Mill (Dairy Feed), Ace Hardware Stores, & Ram Plumbing Supply. During his professional career, he also served as President of the Harrisonburg-Rockingham Chamber of Commerce, and taught Management Accounting part-time at James Madison University for ten years.

He also served on the Board of Trustees of Rockingham Memorial Hospital for four terms, Harrisonburg Electric Commission, United Way, and various professional and trade organizations.

Jack and Thelma have a daughter Renee and she and her family live in Charlotte, NC.

### ***KARL V. SCHAEFFER - Secretary***

Karl is a Senior Technical Manager with the engineering firm of Pennoni Associates. He earned a BS in Construction Management from LSU and moved to Harrisonburg in 1986. Karl and his wife, Beth, have two sons, Kory at JMU and Kristian at VA Tech.

### ***WAYNE D. BEAMAN - Director***

During September 2011, following a 42-year local, state, and federal law enforcement career, Wayne retired from the U.S. Department of Justice and returned to Rockingham County. Wayne & Joy are Rockingham County natives and have three children: Scott (driver for Averitt Express) and family reside in Vinton, VA; Nancy (Lt. Colonel [MD - Pathologist], U.S. Army Medical Corps) & family reside in San Antonio, TX; Andy (Special Agent, U.S. Secret Service) & family reside in Salem, VA. Wayne also works part-time as a shuttle truck driver for Truck Enterprises, Inc. Harrisonburg. Wayne is a U.S. Marine Corps veteran, 1967-1970.

### ***MIKE RUCKMAN - Director***

Mike has worked in communications since 1968 starting with AT&T. He has been with Total Technology Management in Harrisonburg for the past 13 years. Served several years on the Augusta County Recreation Commission, has been Property Commission Chairman and on the board at the Mill Creek Church of the Brethren where he and his wife Beck are members. Has also served two terms as president for the East Rockingham Recreation Association. Mike also officiated college basketball for 20 years and is on the board and officiating high school basketball for the Shenandoah Valley Basketball Officials Association. Mike and Becky are Rockingham County natives, have been married for 46 years and have two sons, Michael and Andy. Michael, who resides in Harrisonburg teaches and coaches golf in Harrisonburg. Andy, a Partner with Deloitte, resides in Annapolis, MD with his family. Mike and Beck have three grandchildren.

***PEGGY RAPP - Director***

Peggy worked in human resources management for 30 years in a number of Federal Agencies and Departments. During her career, she managed a Federal training center and served as the Departmental retirement and benefits officer. From 2003 -2011, Peggy was a program manager for a private sector consulting and software company in Northern VA. Peggy has previously served as treasurer for a home owner's association and an officer and treasurer for a high school booster club. She has a BA and MA in education from the University of Albany, Albany, NY. Peggy and her husband, Roger, moved to Crossroads Farm in 2011. They have been married for 45 years and have a daughter, Alison, who lives in the City of Falls Church, VA, and a son, James and wife Erin, who lives in Austin, TX.

***TED BUDD – Director/Developer***

Ted Budd is a native of Harrisonburg, VA. Ted is a partner in TroBudd, Inc. which provides development and construction services to its affiliated companies. He earned a BBA in finance and economics from JMU and a MBA with a concentration in marketing from Wake Forest University.

After returning to Harrisonburg in 1993 he joined his current business partners in launching several businesses which evolved into TroBudd, Inc. and affiliated companies in 1995. TroBudd, Inc. has developed numerous neighborhoods in the Shenandoah Valley from Elkton to Staunton with a primary emphasis on projects in Rockingham County. Current projects include Stone Port, Taylor Grove Apartments and, most recently, the expansion of Cross Roads Farm.

Ted is a past president and treasurer of the Harrisonburg Lions Club and is a Melvin Jones fellow. He and his wife of 30 years, Carrie, have four children. Katie who works in information technology at RMH/Sentara. Scott who is a regional portfolio manager with Regions Bank in Birmingham, AL. Jack, a sophomore in college. Allison who is a rising junior at Spotswood High School. Ted is the developer for SVTB CR LLC.

## Crossroads Farm POA Budget - Approved

**2016-17 (fiscal year is Aug. 1 – July 31)**

<b>REVENUES/Income</b>	<b>Budget</b>	<b>2015/16 Actual</b>
Owners Assessments	\$ 123,200 <i>(\$.550.00 per unit)</i>	\$ 121,550
New Lot Assessments	\$ 1,100 <i>(if 2 lots are sold)</i>	\$ 1,920
Late Fees	\$ 200 <i>(\$.50 ea. late assess.)</i>	\$ 350
packets/Updates	\$ 625 <i>(\$125. ea. packet)</i>	\$ 900
Interest Earned C.D.'s	\$ 3,200	\$ 4,646
Interest F&M Money Market	\$ 140	\$ 138
	=====	=====
<b>Total Income Revenues</b>	<b>\$ 128,465</b>	<b>\$ 129,504</b>
 <b>EXPENDITURES</b>		
Management Fees/Accounting	\$ 26,880	\$ 26,880
Landscaping Maint. Contract	\$ 25,000	\$ 19,895
Replacement/Additional Landscape	\$ 2,500	\$ 2,576
Snow Removal	\$ 11,000	\$ 10,265
General Maintenance	\$ 2,882	\$ 100
Tree Treatment/pesticides	\$ 1,200	\$ 1,120
Sprinkler Maint.	\$ 600	\$ 437
Professional Fees CPA/Attn.	\$ 1,000	\$ 645
Insurance	\$ 2,000	\$ 1,502
Postage/Copy/supplies/bank, etc	\$ 800	\$ 711
Utilities – Elec	\$ 800	\$ 762
Utilities – Water	\$ 800	\$ 816
SCC License/DPOR/CAI Mem.	\$ 300	\$ 228
Miscellaneous (picnic, etc.)	\$ 500	\$ 172
Income Tax (fed/state)	<u>\$ 2,000</u>	<u>\$ 1,636</u>
 SUB-Total Expenditures	 \$ 78,262	 \$ 67,745
Road Reserve	\$ 47,344	\$ 45,561
Amenities Reserve	\$ 2,859	\$ 2,758
	=====	=====
 Total Expenditures	 \$ 128,465	 \$ 116,064
 Net Income	 0	 \$ 7,873

## Reserve Study Balances and Book Balances

	Reserve Study Balances	Book/Actual Balances
<hr/>		
<b>Road Reserve:</b>		
As of 7/31/2015	\$298,970.00	\$317,482.00
Allotted/Spent FY 2015/16	\$ -	\$ 16,785.00
2015/2016 Reserve increase	\$ 45,561.00	\$ 45,561.00
<hr/>	<hr/>	<hr/>
7/31/2016 Balance**	\$344,531.00	\$346,258.00
<hr/>		
<b>Amenities Reserve:</b>		
As of 7/31/2015	\$ 20,843.00	\$ 22,185.00
Allotted/Spent FY	\$ -	\$ -
2015/2016 Reserve increase	\$ 2,660.00	\$ 2,660.00
<hr/>	<hr/>	<hr/>
7/31/2016 Balance**	\$ 23,503.00	\$ 24,845.00

\*\*The difference between beginning balance and ending balances per reserve study and per books are due to differences in allotted funds and actual spending per books.

## Assets

Common area value per tax assess. \$305,000.

**CROSSROADS  
FARM**  
Property Owner's Association

**Bi-Monthly Meeting of the Board of Directors**  
**November 17, 2016**

Conference Room at Old Dominion Realty  
Crossroads Plaza Office

**MINUTES**

Board Attendees: Ron Dunham, Karl Schaeffer, Wayne Beaman, Mike Ruckman, Ted Budd, Peggy Rapp & Betty Reese

Visitor: Steve Cosby

Called to order 4:59 PM by Ron Dunham

**Social Committee Report:** Reported by Peggy Rapp; Fall Social was great had 45 in attendance and food drive was again successful. January meeting planned to look at 2017 calendar of events.

**Beautification Committee Report:** None.

**Minutes from Previous Meeting:** Minutes approved from previous meetings of Sept. 15, 2016, were approved as written, motion by Wayne Beaman second by Mike Ruckman.

**President's Report:** Concerns about speeding, so Ron put up temporary reminder signs and it seems to be of help with awareness. Ron also contacted Rockingham County Sheriff's Department and they will be placing a radar reminder sign up in the near future. It is to be placed on the common area off Frederick near intersection of Claremont. Looking at later moving it to Claremont near the Schaeffer residence.

**Manager's Report:** See attached. Also shared the three delinquent assessments.

**Treasurer's Report:** Jack was not present, poa manager offered current balance sheet and profit and loss reports.

## **OLD BUSINESS**

**Erosion issue**— Karl shared that he sent out for six RFB, has 3 that are not currently interested for they are too busy. Waiting on others for submittals. There will be 8 gabion baskets total.  
Karl also brought up that fact that we will need to look at our ponds for clean-up and continue to have them cleared about every 5 years.

## **NEW BUSINESS**

**Rockingham County Water** – Betty again called Rockingham County in regard to the water trucks, they are no longer allowed in the sub-division, and the County asked that we bear with them as they try to correct this issue.

**Open Forum for Owners:** Steve Cosby shared his plans for new cottage on Beauford lot 289 for the board to review as ARC. The board agreed to accept the current plan with the addition of a clarification of the driveway, frontal elevations and the finished floor. The board also shared the ongoing concern of driveway elevation (steep drives) and other previous concerns. Notes from Cosby, ARC requests a 1300 sq. ft and his have been 2500-4300. Lot 291 was sold so it's understood that lot is not included in the ARC agreement with the board. This will be the 26<sup>th</sup> house he has built in CRF in the past 10 years, has built out Elgin and Cadogan. He questioned the new propane tank to be buried requirement and asked to have the Stratford sign on the highway removed. This approval is for this lot only.

Karl to send clarification of expected items to Betty to keep in file for Cosby agreement.

Meeting adjourned at 5:57 PM.

Reminder of Next meeting for Board of Directors scheduled January 19, 2017 at 5:00 p.m.

**CROSSROADS  
FARM**  
Property Owner's Association

**Bi-Monthly Meeting of the Board of Directors**  
**July 26, 2016**

Conference Room at Old Dominion Realty  
Crossroads Plaza Office

**MINUTES**

Board Attendees: Ron Dunham, Jack Reich, Karl Schaeffer, Wayne Beaman, Mike Ruckman & Betty Reese  
Guests: Pam Drake, Monjula Patnaik, Beth Schaeffer and Cindy Wishon.

Called to order 5:05 PM by Ron Dunham

**Social Committee Report:** Reported by Peggy Rapp; See attached report.

**Beautification Committee Report:** Cindy Wishon reported, see attached. Beautification Committee recommends that the board would use Bartlett as tree service bidder.  
Motion to use funds from the amenities reserve for tree care for quote of \$8,760. By Mike, second by Wayne

**Minutes from Previous Meeting:** Minutes approved from previous meetings of May 19, 2016, were approved as written, motion by Wayne second by Jack.

**President's Report:** nothing to report, items to address in business segment. Ron did share a report from Ted Budd the developer, they are still waiting on update from engineering to get approval from the county.

**Manager's Report:** See attached.

**Treasurer's Report:** Jack shared a proposed budget and noted that there will not be an increase in assessments for 206/17. Motion to accept the budget as written by Jack, second by Karl.

**OLD BUSINESS**

**Erosion issue**— Karl has a plan ready for the gabion basket style rip rap, waiting on final quotes. Would like to have work completed this this fall. It looks like we will need about 8-10 of these systems installed down the hill about mid-way on Frederick to Claremont. We will be able to re-use the rocks currently there. These will be more durable forms. Funds for this repair should come from the reserve funding. Previously quoted at about \$26,000.

Karl also repaired a culvert by the Wishon property, this is a temporary repair.

**Ed Nicolas Construction** – Betty has called Ed previously and Ron has talked with him as well. We were given a completion date of about July 15<sup>th</sup>. Work is still incomplete and their construction vehicles are not safe, blocking traffic. Board suggested to give a 24 hour notice to have all items removed from the street. Betty to discuss parking issues with him.

## NEW BUSINESS

**Forward Grass** – Forwards requested special permission to allow for their ornamental grass to remain uncut, documents in lot file. Board agreed that since we have had numerous complaints that all of the grass will need to be cut and kept on a regular mowing basis. It needs to be true lawn grass as per design standards or other ornamental lawn grass and/or landscaping with mulch. For the record, motion to not accept this as a special request by Mike second by Wayne.

**Annual Meeting date** – The Crossroads Farm Annual Meeting date is set for Thursday, October 27 at the Massanutten Presbyterian Church at 7:00 p.m. Betty to send out notices with Assessments the first week of August.

**Incomplete drainage area** – Karl reported that there is an incomplete area from the new construction at the middle of cul-de-sac on Hastings Place. Lot #121 needs to seed the ditch on lot #122 for erosion control, Betty to notify owner of lot (Taylor).

**Open Forum for Owners:** No comments.

Ron Called a brief executive session for FYI to board members at 6:011 p.m., went back out of session at 6:15.

Meeting adjoined at 6:15 PM.

Reminder of Next meeting for Board of Directors scheduled September 15, 2016 at 5:00 p.m.

**CROSSROADS  
FARM**  
Property Owner's Association

**Bi-Monthly Meeting of the Board of Directors**  
**September 15, 2016**

Conference Room at Old Dominion Realty  
Crossroads Plaza Office

**MINUTES**

Board Attendees: Ron Dunham, Jack Reich, Wayne Beaman, Mike Ruckman, Ted Budd, Peggy Rapp & Betty Reese

Called to order 5:00 PM by Ron Dunham

**Social Committee Report:** Reported by Peggy Rapp; Sunday, September 4<sup>th</sup> CRF celebrated Labor Day Weekend with 47 attendees, had a great time and look forward to next year's picnic. Peggy will hang on to the picnic sign for next year's event.

**Beautification Committee Report:** Betty read report for Cindy Wishon, reports that Bartlett has treated the trees and will be returning to do once again before fall. Cindy called them back again because they were looking bad and he said they needed water. Cindy also asked him about scaring on the trees and he said it was most likely from when they were planted. Bartlett tree service also added the inspection and treatment of the Hawthorn's at no charge on Cadogan Court. Cindy contacted Theo about the sprinklers and he said they were supposed to be on 3 time a week but the second section in front was looking bad. He came out again and reset the timer because it was set on a different season setting. They should some on Tues, Thurs and Sat. Betty contacted Turn-A-Leaf to get a tree replacement quote for the dead Bella Vista tree and his price for removal and replacement was \$530. For a Green Vase Zelkova Betty to see if that is comparable. Cindy also asked Betty to check with Turn-A-Leaf in regard to winterberry he put in this past year at Hobart, not looking good. He said he would replant it.

**Minutes from Previous Meeting:** Minutes approved from previous meetings of July 26, 2016, were approved as written, motion by Jack second by Mike.

**President's Report:** no new items to report.

**Manager's Report:** See attached.

**Treasurer's Report:** Jack shared that we now have the year-end final numbers and we will share that at annual meeting. We have to wait on final yearend numbers before we can get an actual total of expenses. The budget is a proposed because our fiscal year runs Aug. 1 to July 31.

**OLD BUSINESS**

**Erosion issue—** Karl was not present but is waiting on bids for repair work and has a plan ready for the gabion basket style rip rap.

## NEW BUSINESS

**Ed Nicolas Construction** – Betty to contact Ed in regard to contractors working on Sunday

**Clippings** – Betty to contact a new lot owner of 113 Camden to let them know that clippings are not to be disposed at the top of Frederick and they will have to dispose of elsewhere.

**Trim trees over common area** – Mrs. Pinneri wanted to know if we could have a couple of the trees trimmed at the common area easement that she mows each week. It is becoming very difficult for her to mow under them. Board agree that Betty could get DePoy to trim.

**Cadogan signs** – a letter was sent in regard to the large Cosby sign at Cadogan Court and asked if they could be removed, also the construction pile that sits on the farthest lot.

**Cadogan sign** – Also there is a street sign that needs a new T-bar, the old one is bent.

**Developer Report** – Ted Budd reported that the vacant field near entrance will be mowed soon. Ted also reported that they have finally received approval from the county on the Frederick Road section. Hope to start some excavating in October sometime. Maybe looking at Townhomes for future of the commercial area near entrance but that will be quite some time.

**Rockingham County Water** – Betty to call Rockingham County in regard to the water trucks they allow in the sub-division, they have blocked the street and we cannot have them blocking streets. Also to remind them that new construction will be beginning soon.

**Lakeview** – Mike reported that John Kidd may be at our annual meeting to represent Lakeview, if he cannot make it he will share some points with Mike to share at the meeting. But in general just wanted to report that the golf course is doing fine with their 27 holes.

**Open Forum for Owners:** No comments.

Meeting adjourned at 5:49 PM.

Reminder of Next meeting for Board of Directors scheduled November 17, 2016 at 5:00 p.m.

# Crossroads Farm POA

## Fall Newsletter 2016

### Social Committee

On Sunday, September 4th, 2016, the Crossroads Farms (CRF) Community celebrated the Labor Day weekend by having a picnic in Peale's Park. Forty-seven attendees brought a potluck spread of tasty entrees, salads, and desserts, and the Property Owner's Association contributed delicious fried chicken for the feast. The weather was perfect, and the Social committee did a fantastic job in organizing the picnic. It was a great fun event for all who attended.

- Peggy Rapp, Chair for CRF Social Committee

### 2016 Calendar of Events

October 27th—CRF Annual Meeting 7 P.M. at the Massanutten Pres. Church

Nov. 5-11 — Fall Food Donation Drive

Nov. 11 — Fall Social Gathering at Schaeffer's

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Great neighbors!!

### ***Crossroads Farm New Neighbors! WELCOME!***

**129 Elgin-Furash**

**585 Claremont-Siddiqui**

**136 York-Karby/Varga**

**144 Cadogan-Surber**

**31 Cambridge-Bariana**

**1035 Frederick-Miller**

*Continued page 2*

**CURRENT NEW  
CONSTRUCTION  
UNDER WAY:**

- ◊ Timberville LLC, 140 Markham
- ◊ Frakes, 865 Frederick
- ◊ Sandy, 120 Markham

**More Notes from Social Committee:** Those interested in volunteering for the Social Committee please contact Peggy Rapp at: [peg7rap@yahoo.com](mailto:peg7rap@yahoo.com)

**Board of Directors**

Meetings: the third Thursday of Jan, Mar, May, July, Sept, and Nov at 5:00 p.m. at the CRF Plaza ODR Meeting Room

Board of Directors are: Ron Dunham, Jack Reich, Karl Schaeffer, Wayne Beaman, Mike Ruckman, Peggy Rapp and Ted Budd

*For copies of BOD minutes, go to the CRF website or contact your POA Manager or go to [www.crossroadsfarmpoa.com](http://www.crossroadsfarmpoa.com)*

**Rainbow photo submitted by Gene Layman**



**HOUSES FOR SALE AT CROSSROADS FARM!**

121 Cadogan-Diehl  
750 Frederick Rd-Patterson  
345 Claremont Ave-Lee  
779 Claremont Ave-Santhosh  
110 Wilton-Darrah

635 Frederick Rd-Vanderburgh  
515 Frederick Rd-Supko  
200 Claremont Avenue-Boles  
110 Cadogan-Grandstaff  
120 Markham-Tville Builders

705 Frederick Rd-Miller  
529 Claremont-Schiedt  
28 Cambridge-Nafel  
36 Cambridge Circle-Lawson

Reminders from POA Manager.....Let's be neighborly!!

- IT's that time of the year to get your yard pruned and in shape for fall and winter, including decorative grasses.
- Reminder that yard clippings need to be disposed of and not taken to the common area or undeveloped area. If you are caught doing so, you may be billed for clean-up and fined!
- Be courteous and neighborly, pick up any pet waste.

Visit your POA Web-site at: [www.CrossroadsFarmPOA.com](http://www.CrossroadsFarmPOA.com) (you can pay assessments online on CRF web-site)

To contact your CRF POA Manager: Betty Reese, 2340 South Main Street, Harrisonburg, VA

22801 (540)433-2454, ext. 1005 e-mail: [bjreese@odrva.com](mailto:bjreese@odrva.com)

## **Crossroads Farm Community**

### **Mission Statement**

To maintain its pro-active reputation as a "desirable, one-of-a-kind community", the Mission of Crossroads Farm Community is to **Maintain, Encourage, and Preserve**.

- **To Maintain** Superior:
  1. Board Leadership,
  2. Service Provider Performance, and
  3. Community Appearance.
- **To Encourage:**
  4. Citizen Involvement.
- **To Preserve** Community:
  5. Economic Soundness,
  6. Quality Lifestyle,
  7. Reputation, and
  8. Heritage.

# CROSSROADS FARM

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Property Owner's Association

2017

**Dear Homeowner/Builders,**

It is required that prior to building that you have your plans reviewed by the Architectural committee/Blue Ridge Architects. As you build in Crossroads Farm please make your builder aware of the following items. The property owners association would like to request that in addition to OSHA standards, you respect the following guidelines:

- a) TRASH CONTAINMENT:** Appropriate disposal of trash as well as construction materials will be expected on each site during construction. Trash shall not be dumped on other sites or on common areas within the Community. Pick up trash so it does not encroach on neighboring properties.
- b) HAZARDOUS AND TOXIC WASTE:** No petroleum based products or other potentially hazardous or toxic substances may be disposed of on any lot, any storm drain, or any drainage ditch within the development.
- c) PORTABLE TOILETS:** During construction of new homes, every builder shall maintain portable construction site toilets. Please place in the least conspicuous place as possible.
- d) RESPONSIBILITY:** The General Contractor is responsible for enforcing the following rules on **all** construction workers and subcontractors on the job site:
  - 1. The possession and/or consumption of alcohol is prohibited by contractors or workers;
  - 2. Workers are prohibited from playing loud music; and
  - 3. Contractor and subs will not block traffic at any time, if possible park on construction side of street or safest location. If there is a lack of street space you will need to consider carpooling.
  - 4. No construction vehicles to be left overnight or weekends, must be removed from premises and close of workday.
- e) CONSTRUCTIONS HOURS:** Construction may only take place during regular business hours of **7 a.m. to 6 p.m. Monday through Saturday.**  
**No Sunday or HOLIDAY work is permitted.**  
If any contractor is found working on the premises on any of the above mentioned non work hours or Holidays, there will be a **two week Work Stop ORDER put into effect** and a possible fine from the POA.
- f) TRASH BURNING:** No burning of construction trash, debris or cleared materials/trees will be permitted on site.

The HOA Board feels that the builders in the neighborhood need to be responsible for their subcontractor's behavior and actions since they are in fact employees of the builders.

Thank you for your attention to these guidelines.

Respectfully,

**Betty Reese, POA Manager, CMCA, AMS**  
Crossroads Farm Community Association  
2340 South Main Street  
Harrisonburg, VA 22801  
540-433-2454 ext. 1005